



The City of Spartanburg Board of Architectural Design & Historic Review

AGENDA

**August 14, 2025, at 5:30 P.M.
Spartanburg County Council Chambers
366 N. Church Street – Spartanburg, SC 29303**

(Please Note: Items as they appear on the Docket may or may not be considered in the order as they are presented. The Chairman will announce any changes after the roll call)

- I. Call To Order.**
- II. Roll Call.**
- III.** Freedom of Information Act Compliance – Public notification of the City of Spartanburg’s Board of Architectural Design & Historic Review meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the requirements of the City of Spartanburg’s Zoning Ordinance.
- IV. Rules and Procedures for Meeting Conduct.**
- V. Approval of Agenda.**
- VI. Disposition of Minutes from the April 10, 2025, Meeting.**
- VII. Old Business: None.**
- VIII. New Business:**
 1. COA: 25-004-00023: Certificate of Appropriateness for Major Works – 232 Hydrick Street (TMS # 7-12-14-166.00) in the Hampton Heights. The applicant is seeking approval for new construction. The property is located in the R-8 (General Residential) zoning district. **Owner: City of Spartanburg | Applicant: James White Enterprises, LLC.**
 2. COA: 25-004-00049: Certificate of Appropriateness for Major Works – 511 S Irwin Avenue (TMS # 7-16-02-134.00) in the Hampton Heights. The applicant is seeking approval for a detached garage, and window replacement. The property is located in the R-8 (General Residential) zoning district. **Owner: Sarah Brodie | Contractor: Will Hammond.**
- IX. Staff Updates:**
 - Property at 607 S. Irwin Avenue – Mediation update.
 - ACOG Continued Education and Orientation for newly appointed board members.
 - Welcoming new Planning staff: Ben Jones, Senior Planner, and Dominick Calace, Planner I.
- X. Adjournment.**

For more information, please contact the City of Spartanburg Planning Department at planning@cityofspartanburg.org or call (864) 596-2068.

Meeting Minutes of the Board of Architectural Design and Historic Review
Thursday, April 10, 2025, at 5:30 PM
Spartanburg County Council Chambers

The City of Spartanburg Board of Architectural Design and Historic Review (HARB) met in County Council Chambers on Thursday, April 10, 2025, at 5:30 PM with the following members in attendance: **Bill Michels, Sylvelie Franke, Dave Williams, Rod McCants, Kenneth Brown, and Brandon Gaffney** Representing the Planning Department - **Fredalyn Frasier, Planning Director, Oksana Holbrooks, Sr. Administrative Assistant, and Nan Zhou, Planner II.**

Roll Call:

Mr. Michels: Bill Michels
Mr. Williams: Dave Williams
Mr. Brown: Kenneth Brown
Mr. McCants: Rod McCants
Mr. Gaffney: Brandon Gaffney
Ms. Franke: Sylvelie Franke

Mr. Michels: Freedom of Information Act Compliance – Public notification of the City of Spartanburg Board of Architectural Design and Historic Review (HARB) this meeting has been published, posted and mailed in compliance with the Freedom of Information Act and the requirements of the City of Spartanburg Zoning Ordinance.

Approval of Agenda:

A motion was made by Mr. Brown, seconded by Ms. Franke to approve the agenda. The motion was approved with a vote of 6-0.

Approval of Meeting Minutes from March 13, 2025.

A motion was made by Mr. Williams, seconded by Mr. Gaffney to approve the meeting minutes as amended. The motion was approved with a vote of 6-0.

Old Business: None.

New Business:

COA: 25-004-00026: Certificate of Appropriateness for Major Works – 395 Gentry Street (TMS # 7-16-02-142.00) in the Beaumont Mill Village . The applicant is seeking approval to replace front and side windows, from and side exterior walls with hardie fiber cement lap siding, and re-shingle with asphalt shingles. The property is located in the R-6 (General Residential) zoning district. Owner: James and Maria Meet You in Paradise Falls LLC, Contractor: Chad Tessinger, Tesco Construction.

Project Description and History

The project site is located on an approximately 6,670 square foot lot in the Beaumont Mill Village Historic District on the north side of Gentry Street. The site currently consists of a one-story single-family residence constructed in 1941. This residential structure is a wood-framed bungalow with a brick foundation, front porch with interior brick chimney, and has a gable roof with composite shingle.

- The Beaumont Mill Village Historic Design Guidelines list this structure as a

Analysis

Zoning Ordinance and Historic Design Manual Consistency

The design guidelines are outlined in the Beaumont Village Design Guidelines for the City of Spartanburg Historic District Preservation Principles and Approaches. The purpose of the Guidelines is to provide property owners guidance for the preservation and protection of historic and architecturally valuable districts and sites in the City. The project is also subject to Section 510 of the City's Zoning Ordinance, Historic Preservation. This section allows the Board to review applications involving historic structures and districts and issue a Certificate of Appropriateness subject to the Standards listed in the Ordinance.

The project site has a zoning designation of R-6, General Residential District, which allows for single family dwelling units. Section 510.6 of the City of Spartanburg Zoning Ordinance list standards for reviewing Certificate of Appropriateness. Specifically, Section 510.6 (C)(2) states that in reviewing applications for new construction or alteration, the Board shall consider the U.S. Secretary of the Interior's Standards for Rehabilitation, and the five criteria listed in the findings.

Applicant Statement

- The Applicant proposes to replace front and side windows with aluminum clad wood windows and replace front and side siding with James Hardie Fiber Cement Lap siding.

Findings

Certificate of Appropriateness, Section 510.6 (C)

a. The character and appropriateness of the design

Windows. Design Guidelines for Beaumont Mill Village state that “..... windows are another significant character defining feature of any home. Wood windows were constructed so that individual pieces could be taken apart and repaired as needed. Therefore, many original windows could be repaired for much less than replacing a window. If it's determined that the windows are in such deteriorated condition that they must be replaced, the new windows should be compatible in terms of material, size of window, shape and size of sash, window pane size and configuration, muntin and mullion profile shape, and location of meeting rial. In Beaumont Mill Village, wood and aluminum clad wood windows are the most appropriate replacement materials” Design Guidelines for Beaumont Mill Village state that “.....most of the homes in Beaumont were originally wood siding. If this material still exists on the home, it should be retained. Many homes in the area have aluminum or vinyl siding added to them. Some homes have asbestos siding which is original to their design and some asbestos siding was added to earlier homes in the 1950s. details of the original home have been lost due to the additions of these materials. Artificial siding can trap moisture underneath and decay the original wood. Therefore, homes that do not have these materials on them should not consider artificial materials as a replacement to the damaged wood. Repair is the only option. Wood siding should be kept painted and aluminum siding should be kept clean. Should it become necessary to replace the siding, then the new boards should match the existing boards in width and any characteristics, such as corner boards. If more than 50% of non-original siding will be replaced, then the type of replacement siding must match the historic style siding. Appropriate new material should be wood or Cement Fiberboard.”

- The proposed repairs are consistent with the Beaumont Mill Village design intent.
 - 1) Replacement of the front and side wood windows with white aluminum clad wood windows (31.5” by 55”) in existing opening, double hung, and six by six configuration.
 - 2) Replacement of the current damaged asbestos siding with James Hardie Fiber Cement Board Lap Siding that is recommended by the Beaumont Mill Village Design Guideline.

b. The scale of the buildings

- Replacing windows and siding will not impact the scale of the building.

c. The texture and materials

The proposed materials are consistent with the Beaumont Mill Village material guidelines.

- 1) The current front and side windows are wood. The new proposed windows would be white aluminum clad wood windows, double hung, and six by six configuration.
- 2) The current front and side siding material is asbestos siding. The new proposed siding is James Hardie Fiber Cement Board Lap Siding.

d. The relationship of such elements to similar features of structures in the immediate surroundings –

- 1) Properties in the immediate surroundings of the project site appear to have a combination of wood and vinyl windows.
- 2) Properties in the immediate surroundings of the project site appear to have a combination of wood and vinyl siding on the house.

e. If the property is in a Historic District, the extent to which the alteration or construction would be harmonious with the Historic District –

- 1) Repairing the damaged or deteriorated wood windows is recommended. If the windows are beyond repair, the replacement of the windows' material, style, and size would be harmonious with the Beaumont Mill Historic District.
- 2) Based on the Design Guidelines for the Beaumont Mill Village, the new siding replacement material matches the historic style siding and meets the design guideline recommendation.

Applicant:

James and Maria Miles, Meet You in Paradise, Owner.

Public Speakers:

None

Discussion:

The Board discussed the historical context and architectural character of the property and surrounding area. It was noted that the windows, siding, and roof are currently in a state of significant disrepair. The applicant presented a proposal to replace various window types with historically appropriate alternatives that meet historic guidelines. The Board expressed general support for the proposed replacements, emphasizing the importance of maintaining historic character while improving structural integrity. The use of compatible siding and wood materials was also discussed as acceptable in preserving the overall appearance and historic value of the structure.

A motion was made by Mr. Michels and Mr. Brown, seconded by Mr. Gaffney, to approve the replacement of windows as requested with a 7/8ths inch muntin on the exterior with on the inside 6 over 6s, removal of asbestos siding to be repaired with wood siding at the front, left and right side, with wood from rear or new wood cut to fit profile with the rear of the house could be Hardie board if necessary. The motion passed with a vote of 6–0.

Staff Announcements: Continue Education certifications.

The meeting was adjourned at 6:19 PM.

Bill Michels, Chairman

August 7, 2025

TO: The Board of Architectural Design and Historic Review

RE: Certificate of Appropriateness for Major Works
Address: 232 Hydrick Street (TMS: 7-12-14-166.00)
Historic District: Hampton Heights Historic District
Zoning: R-8 SFD (Single Family District)
Owner: City of Spartanburg
Applicant: Oak and Ave Property Group

Request: The applicant is seeking approval to construct a new 2,617 square foot home on a property in the R-8 SFD zoning district.

Project Description and History

The project site is located on an approximately 7,500 square foot lot in the Hampton Heights Historic District on the west side of Hydrick Street near the intersection with West Henry Street. The site is currently vacant. The applicant proposes to build a 2,617 square foot single-family dwelling unit on the lot.

The proposed residential structure is a one-and-a-half story Craftsman style home measuring 35 feet in width and 63 feet 2 inches in length, with a peak ridge height of 30 feet 8 inches. The house will be constructed on a brick foundation with a crawl space.

A full-width front porch measuring 9 feet in depth will span the entire facade. The porch decking will consist of TimberTech grooved composite deck board and will be supported by brick foundations with painted wood columns. A matte black aluminum porch railing will enclose the porch, and the brick pier foundations will feature black vinyl lattice.

The applicant is proposing to clad the house in Hardie Plank lap siding. The dormer will have vertical board and batten siding. The two front porch windows will be black wood, one over one double pane windows. The dormer and side windows will be black wood framed six over six double pane windows. The front door is proposed to be a craftsman style mahogany stained wood door. The roof will be comprised of architectural shingles. A split strip driveway is proposed along the side of the home with a concrete parking pad located in the rear yard.

Analysis

Zoning Ordinance and Historic Design Manual Consistency

The design guidelines are outlined in the Hampton Heights Design Guidelines for the City of Spartanburg Historic District Preservation Principles and Approaches. The purpose of the guidelines is to provide property owners with guidance for the preservation and protection of historic and architecturally valuable districts and sites in the City.

The project is also subject to Section 510 of the City's Zoning Ordinance, Historic Preservation. This section allows the Board to review applications involving historic structures and districts and issue a Certificate of Appropriateness subject to the Standards listed in the Ordinance.

The project site has a zoning designation of R-8 SFD, Single Family District, which allows for single family dwelling units. Section 510.6 of the City of Spartanburg Zoning Ordinance list standards for reviewing Certificate of Appropriateness. Specifically, Section 510.6 (C)(2) states that in reviewing applications for new construction or alteration, the Board shall consider the U.S. Secretary of the Interior's Standards for Rehabilitation, and the five criteria listed in the findings. Normally, when a new house is proposed in most other areas of the city, only a building permit is required. However, due to the location, the proposed house is subject to Section 6.0, New Construction Guidelines, of the Historic Districts Design Manual.

6.2 Recognizing the Prevailing Character of Existing Development

- *Identify and respect the prevailing character of adjacent historic buildings and surrounding developments.*

The surrounding homes near the proposed development are predominantly bungalows in character. The proposed residence incorporates defining features of the Craftsman Bungalow style, including prominent columns and a full-width front porch. The scale and design of the front porch are consistent with those found on other Craftsman-style homes within the district.

6.2.1 Building Setback and Orientation:

- *The orientation of a new building and its site placement shall appear to be consistent with dominant patterns within the area of influence, if such patterns are apparent.*

The applicant's submission of the site plan indicates that the structure will be located ~10 feet from the north side setback and 18 feet 4 inches from the south side setback. The submitted materials do not clearly indicate the proposed front setback; however, it appears that the structure is set farther back than the adjacent properties. To maintain the established streetscape and neighborhood character, the front setback should align more closely with that of neighboring homes and not exceed the prevailing setback pattern in the area.

6.2.2 Directional Emphasis:

- *A new building's directional emphasis shall be consistent with dominant patterns of directional emphasis within the area of influence, if such patterns are present.*

The structure will exhibit horizontal directional emphasis and face Hydrick Street, consistent with other structures on the street.

6.2.3 Shape:

- *Roof Pitch: The roof pitch of a new building shall be consistent with those of existing buildings within the area of influence, if dominant patterns are apparent.*

The roof pitch of the proposed house will be 4:12 at the front of the house and transition to 8:12 near the center of the dormer. This roof pitch is consistent with Craftsman Bungalow style homes in the district.

- *Porch Form: The shape and size of a new porch shall be consistent with those of existing historic buildings within the area of influence, if dominant patterns are apparent.*

The front porch extends along the entire length of the home's facade, 33 feet and extends 9 feet out from the home. This porch size is consistent with other Craftsman style front porches in the district. The

structure has four brick foundation columns with painted wood columns. This style is consistent with other Craftsman homes in the district.

- *Building Elements: The principal elements and shapes used on the front façade of a new building shall be compatible with those of existing buildings in the area of influence, if dominant patterns are apparent.*

The applicant is proposing a craftsman style home with symmetrical features. The door will be located in the center of the facade flanked by one-over-one double-pane windows on either side. The dormer will be located in the center of the structure with two six over six windows. The north side of the home will have a 3 foot by 14 foot bump-out addition on the first floor. The principal elements and shapes are consistent with adjacent structures and other Craftsman style homes in the historic district.

6.2.4: Massing:

- *The massing of a new building shall be consistent with dominant massing patterns of existing buildings in the area of influence, if such patterns are apparent.*

The proposed structure is a 1.5 story home. The ridge height of the proposed building is 30 feet 8 inches. The design also includes a dormer in the front of the house that will extend from the peak of the roof to the front porch. Adjacent homes on the street range in height from 1 to 2 stories. The scale and form of the structure are appropriate for the surrounding neighborhood.

6.2.5: Proportion:

- *The proportions of a new building shall be consistent with dominant patterns of existing buildings in the area of influence, if such patterns are apparent.*

There is no information in the submission that provides the proportion of the structure in relation to other structures. Based on staff observations at the project site, the proportion of the proposed structure is consistent with the design guidelines.

6.2.6 Rhythm:

- *New construction in a historic area shall respect and not disrupt existing rhythmic patterns in the area of influence, if such patterns are present.*

There is no information in the submission that provides the rhythm of the structure in relation to other structures. Based on staff observations at the project site, the rhythm of the proposed structure is consistent with the design guidelines.

6.2.7 Scale/Height:

- *New construction in historic areas shall be consistent with dominant patterns of scale with the area of influence, if such patterns are present.*

The structure is a 1.5 story home. The structure is 35 feet 10 inches wide, 60 feet 4 inches long, and has a peak ridge height of 30 feet 8 inches. The front porch extends along the entire front facade and will be 9 feet in depth. Adjacent homes on the street range from 1 to 2 stories. The proposed scale and height are consistent with adjacent homes and the design guidelines. The size of the front porch is similar to that of other properties in the surrounding area.

Findings

Certificate of Appropriateness, Section 510.6 (C)

a. The character and appropriateness of the design

The character of the surrounding homes can be described as bungalows. Although the housing style is not specifically mentioned in the submission, the features are typical of a Craftsman Bungalow with its prominent front porch and columns. The size and design of the front porch are typical of the surrounding properties. The site plan shows a split strip driveway on the south side of the lot leading to a concrete parking pad in the rear yard. The proposed setback is unclear, but it must be consistent with adjacent structures on Hydrick Street. The zoning ordinance requires 30 feet, and a Board of Zoning Appeals (BZA) approval is required for a reduction of this requirement.

b. The scale of the buildings

The proposed home is 1.5 stories. The structure is 35 feet 10 inches wide, 60 feet 4 inches long, and has a peak ridge height of 30 feet 8 inches. The front porch extends along the entire front facade and will be 9 feet in depth. Adjacent homes on the street range from 1 to 2 stories. The proposed scale and height are consistent with adjacent homes and the design guidelines. The size of the front porch is similar to that of other properties in the surrounding area.

c. The texture and materials

The proposed house will use Hardie Plank lap siding on most of the structure. The dormer will use board and batten style Hardie Plank siding. The material creates the appearance of wood siding, which is consistent with surrounding homes, but the vertical orientation of the siding on the dormer is not found within this historic district. It is suggested to be changed to a horizontal orientation to match the rest of the home. The visible width of the siding is unclear but should not exceed 5 inches. A sample of the siding should be provided for review by staff.

The front porch is proposed with painted wood columns with brick foundations. The porch decking will be TimberTech composite deck boards. This material is not consistent with home in the historic district and is recommended to be changed to 3-inch tongue and groove wood deck boards. The railing will be matte black aluminum. This type of railing is not consistent with homes in the historic district and is suggested to be changed to a traditional wood railing. The proposal shows black vinyl lattice between the brick posts. This material is not consistent with the design guidelines and should be changed to wood lattice. The home's foundation will be brick and includes a crawl space. The foundation is consistent with the design guidelines.

The roof will have a 4:12 pitch at the front of the home which transitions to an 8:12 pitch near the center. The roof is proposed to be composed of charcoal architectural shingles. The roof material and design are consistent with the design guidelines.

A craftsman style mahogany-stained door is proposed for the front of the house. This type and style of door is consistent with the historic design guidelines and other doors in the adjacent properties. The proposal shows one over one black wood windows on the porch. The dormer and side windows are six over six black wood windows. All windows are double pane glass. The drawings do not show any trim around the window perimeter. Traditional window trim and sills should be included in the final designs.

d. The relationship of such elements to similar features of structures in the immediate surroundings –

The proposed Bungalow is an appropriate design for the site. It will match the prevailing character of the surrounding homes, most of which are some form of Bungalow. The porch is a character defining feature of the Bungalow. There are multiple structures on Hydrick Street with similar styles of front porches. It is not clear how some of the features are consistent with other character defining features in

the neighborhood. No examples of existing features in the neighborhood were provided as examples for this submission.

e. If the property is in a Historic District, the extent to which the alteration or construction would be harmonious with the Historic District –

The structure will be similar to other homes in the neighborhood, including the front porch, windows, and doors. The siding proposed in the applicant's site plan appears to be consistent with the building materials of surrounding homes, with the exception of the vertical siding on the dormer. The construction makes use of an otherwise vacant and underutilized lot in the historic district.

Staff Recommendation

Staff recommends approval of the proposed design contingent upon incorporation of the following revisions to ensure consistency with the Hampton Heights Design Guidelines:

1. Siding:
 - Vertical board and batten siding on the dormer to be changed to horizontal lap siding to match the rest of the home.
 - A sample of the Hardie Plank lap siding shall be provided to the Planning Department for review prior to approval.
2. Railings: Aluminum porch railings should be changed to a traditional wood railing.
3. Setback: Site plan adjusted to show a front setback consistent with adjacent homes.
4. Lattice: Vinyl lattice to be replaced with wood lattice to be consistent with historic design guidelines (Section 8.1.7).
5. Window Trim: Revise drawings to show trim around the window perimeter. Traditional window trim and sills should be included.
6. Porch Decking: TimberTech composite decking should be replaced with 3-inch wood tongue and groove deck boards.

Submitted by:

Dominick Calace

Dominick Calace
Planner I
City of Spartanburg Planning Department

Attachments:
Conditions of Approval
Site Map
Zoning Map
Site Photos
Application and Materials

CONDITIONS OF APPROVAL FOR THE PROJECT ON PROPERTY AT:
232 Hydrick Street (TMS: 7-12-14-166.00) - Hampton Heights Historic District

Owner: City of Spartanburg

Applicant: Oak and Ave Property Group

Contractor: James White Enterprises

1. If one or more of the following conditions is not met with respect to all its terms, then this approval may be revoked.
2. All plans for future construction which are not covered by this review shall be submitted to the City Planning Department for review and approval.
3. Major modifications to plans or exceptions to completion may be granted only by the City authority which approved the project.
4. This permit shall be exercised within six months of the date of final approval, or it shall become null and void. Extensions may be granted with permission of the Board.
5. A building permit shall be obtained from the Building Department prior to commencement of work.
6. The development of the site shall be in substantial accordance with the approved plans submitted and on file in the Spartanburg City Planning Department. Major modifications to plans or exceptions to completion may be granted only by the City authority which approved the project.

Site Map – 232 Hydrick St.



Zoning Map – 232 Hydrick St.

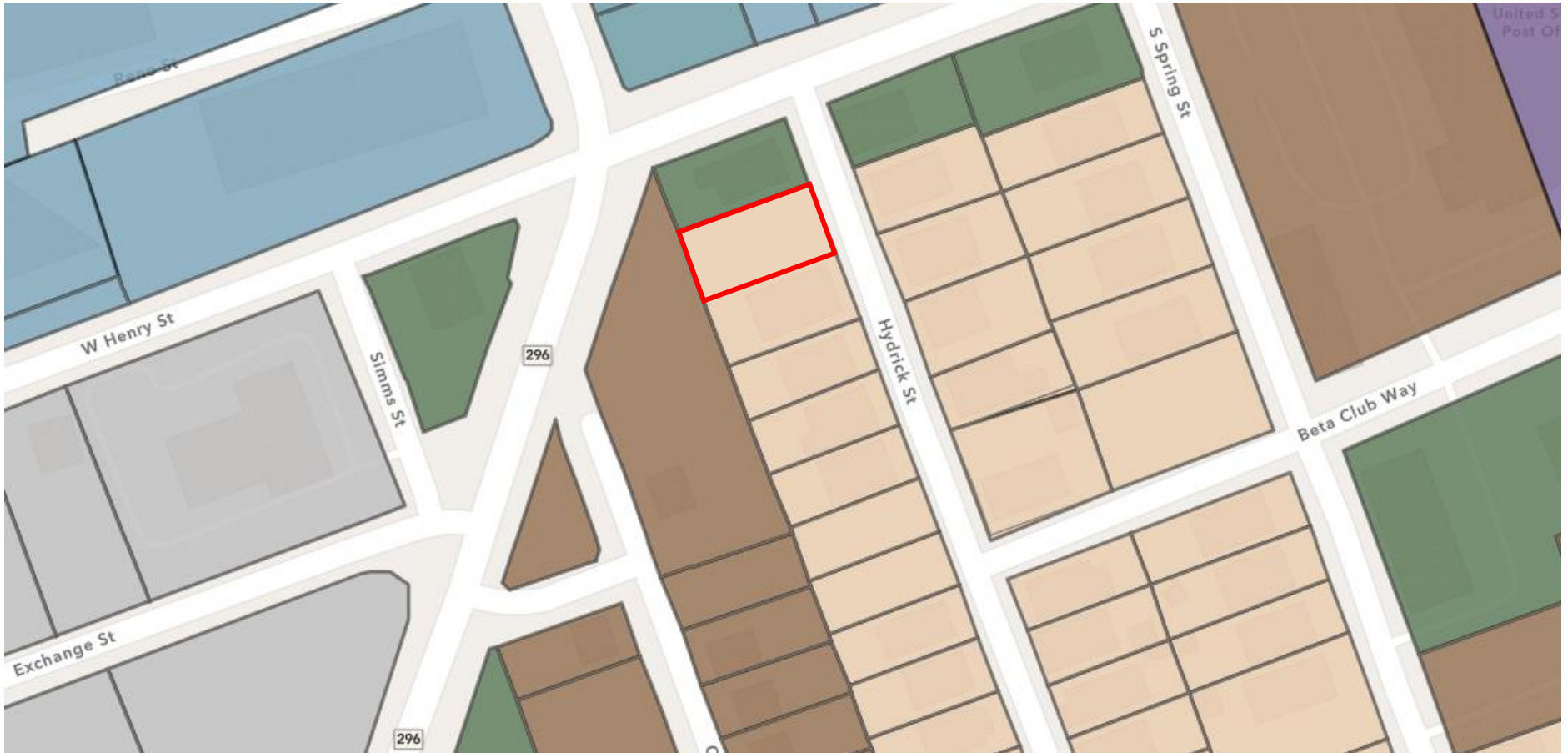


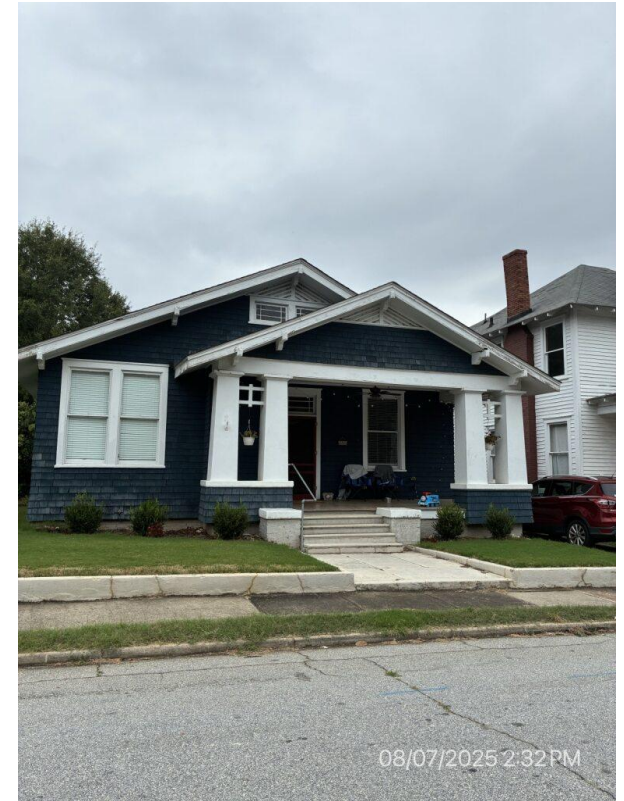
Photo - Project Site (Vacant Lot)



Properties to the Left and Right of Project Site



Properties in the Vicinity



PO Box 1749 • Spartanburg, SC 29304 • phone: (864) 596-2068 • email: planning@cityofspartanburg.org
website: www.cityofspartanburg.org

Certificate of Appropriateness (COA) Historic Properties

Owner: City of Spartanburg Phone: 864-596-2068
Address: PO Box 1749 Email: _____
City: Spartanburg **State:** SC **Zip:** 29306

Applicant: Oak and Ave Property Group Phone: 864-310-4220
Address: 145 N Church St Suite 405 Email: admin@oakandavepropertygroup.com
City: Spartanburg **State:** SC **Zip:** 29306

Contractor: James White Enterprises Phone: (864) 301-8163
Address: 1014 Wade Hampton Blvd Suite 8A Email: info@jameswhitelc.com
City: Greenville **State:** SC **Zip:** 29609

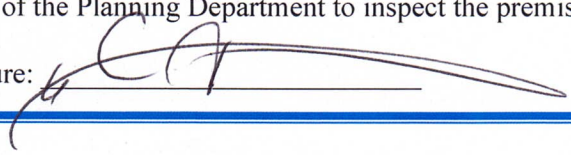
Address of Property: 232 Hydrick St Spartanburg, SC 29306
Tax Map Number: 7-12-14-166.0 **Zoning District** R-8

Please select the activity requested:

- | | |
|---|--|
| ☐ Alteration of Structure/Property | ☒ New Construction on Vacant Lot |
| ☐ Repair of Structure/Property | ☐ Demolition of Structure |
| ☐ Addition to Existing Structure | ☐ Other |

Fees and Payments can be made using the Permit Number and the [City of Spartanburg Payment Portal](#).

To the best of my knowledge, the information on this application and all additional documentation is true, factual and complete. I hereby agree to abide by all conditions of any approvals granted by the City of Spartanburg. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale. I hereby authorize the staff of the Planning Department to inspect the premises of the above-described property.

Applicant: Signature:  **Date:** 6/18/25

Staff Use Only / Received by: _____

Date Received: _____ **Time:** _____ **Permit Number:** _____

Certificate of Appropriateness (COA) Additional Items

Please attach to this Application any of the applicable items:

- | | |
|---|--|
| ☐ Site Plans or Surveys | ☐ Detail Drawing(s), Floor Plans(s) or Sketch(es) |
| ☐ Photographs of Existing property | ☐ Material(s) and Sample(s) |
| ☐ Photographs of Changes requested | ☐ Other |

Description of Proposed work (attach extra sheets as needed):

please see attached additional info

Please read and initial the following statements:

- CJ I am the owner of the property, or
- CJ I am acting on behalf of the owner(s) of this property and have attached a letter from the owner(s) indicating their knowledge of this application.
- CJ The information on this application represents an accurate description of the proposed work.
- CJ I have omitted nothing that might affect the decision of the Historic Architect Review Board.
- CJ I will attend (or send a representative to attend) the public hearing of this application before the Historic Architect Review Board.
- CJ I understand that issuance of a Certificate of Appropriateness is not an authorization to begin work.

Received by: _____

Staff Use Only:
____ MCOA - Minor

____ COA - Major



DESIGNED
BY
THE ARTS

655H FAIRVIEW ROAD STE 200 • SIMPSONVILLE, SC 29680
PHONE: (803) 999-9100 •



17'-0"
—TO NEXT
HOME

8'-0"
SETBACK

SCALE : NTS

							JOB NUMBER:
			CHECKED:				
			DESIGNED BY: THEARTS				
			DRAWN:	APPROVED:	DATE:		6/17/09
							BY

ET

DV



Fixtures + Finishes Schedule



MATERIALS + FINISHES OVERVIEW

FULL HOME

232



NOTES:

- A: Split Strip Driveway
- B: Hardiplank Lap Sliding
- C: Rustic Blend Masonry

PAINT COLOURS:

- 1: White board & batten
- 2: White Hardi Plank Lap

Siding

D: Black Lattice Underskirting

E: Brown Brick

F: Black Wooden Framel
Wihdows

3:

4:

MATERIALS + FINISHES OVERVIEW

BATHROOM



A



D



F



H:



B



G



I:



C



E

NOTES:

- A: Floor & Shower tile same
- B: Matte Black Finishes
- C: Accent Wallpaper at sink
- D:
- E:
- F:
- G:
- H:
- I:

ITEM	IMAGE	WALLS	TRIMS	CEILING	LINK	INTL
LAUNDRY		Gray Shimmer	No Trim	White	LINK	
KITCHEN PAINT 1		Gray Shimmer	No Trim	White	LINK	
KITCHEN PAINT 2		Starless SKy Gray	No Trim	White	LINK	
LIVING + DINING		Wallpaper &	White Trim	White		

PROJECT:

[ENTER]

ROOM/AREA:

LIGHTING + ELECTRICAL



ITEM	IMAGE	PRODUCT	COLOUR/FINISH/SIZE	QTY	LINK	LEAD TIME	INTL
DOWNLIGHTS		Chrome Pendant Light with Clear Beads Crystal Hanging Ceiling Fixture	Chrome and Crystal	1	LINK		
DINING ROOM LIGHT		Siljoy Modern Crystal Chandelier 8-Lights Rectangular Flush Mount Pendant Ceiling Light	Chrome & Crystal	1	LINK		
Sconce Lights		Celina 7 in. 1-Light Bronze Wall Sconce Light With Oatmeal Fabric Shade	Dark Bronze	10	LINK		
Driveway Lights		Solar 15 Lumens Silver Integrated LED In-Ground Disk Path Light with Textured Lens	Textured	20	LINK		

PROJECT: [ENTER]

ROOM/AREA: WINDOWS, DOORS + STAIRS



ITEM	IMAGE	PRODUCT	COLOUR/FINISH/SIZE	QTY	LINK	LEAD TIME	INTL
FRONT /REAR WINDOWS		United Window & Door PRO Series 35-1/2-in x 65-1/2-in Black Wooden New construction Double Hung Window Low-E argon Double Pane Glass (Full Screen Included)	Black Wood Framed Window	2	LINK		
SIDE WINDOW		United Window & Door PRO Series 35-1/2-in x 65-1/2-in Black Wooden, New construction Double Hung Window Low-E argon Double Pane Glass with Grids (Full Screen Included)	Black Wood Framed Window	2	LINK		
Right Side, Dining Room Windows (Typical -6)		JELD-WEN V-2500 31-1/2-in x 61-1/2-in Black Wooden New construction Double Hung Window Low-E argon Double Pane Glass with Grids (Full Screen Included)	Black Wood Framed Window	6	LINK		
FRONT PORCH RAILING		Freedom Margate 8-ft x 36-in Matte Black Aluminum Deck Rail Kit 26 of 77	Black Aluminum	8	LINK		

PROJECT: [ENTER]

ROOM/AREA: WINDOWS, DOORS AND STEPS CONTINUED



ITEM	IMAGE	PRODUCT	COLOUR/FINISH/SIZE	QTY	LINK	LEAD TIME	INTL
FRONT DOOR		Greatview Doors 60-in x 80-in x 4-9/16-in Wood Craftsman Right-hand inswing Mahogany Stained Prehung Front Door with Sidelights Solid core	Mahogany Wood Stained	1	LINK		
PORCH DECKING		TimberTech Prime+ 1-in x 6-in x 12-ft Sea Salt Grey Grooved Composite Deck board	TimberTech Prime+ 1-in x 6-in x 12-ft Sea Salt Grey Grooved Composite Deck board	485 SF	LINK		
PORCH LATTICE		Freedom 48-in x 8-ft Black Vinyl Privacy Lattice	Black Vinyl	8	LINK		
BACK DOOR		Therma-Tru Entry Door 36-in x 80-in x 6-9/16-in Fiberglass Craftsman Left-hand inswing Mahogany Stained Prehung Front Door with Brickmould Insulating core 27 of 77	Mahogany Wood	1	LINK		

ITEM	IMAGE	PRODUCT	COLOUR/FINISH/SIZE	QTY	LINK	LEAD TIME	INTL
DISHWASHER		Gallery 24 in. Top Control Built in Tall Tub Dishwasher in Stainless Steel with 7-Cycles and 50 Minute Normal Wash	Stainless Steel	1	LINK		
OVEN 1		30 in. 5-Burner Element Slide-In Front Control Self-Cleaning Electric Range with Convection in Stainless Steel	Stainless Steel	1	LINK		
FRIDGE		33 in. W 25 cu. ft. SMART Standard Depth French Door Refrigerator in Print Proof Stainless Steel	Stainless Steel	1	LINK		
WHOLE HOUSE WATER FILTER SYSTEM		3-Stage Whole House Water Filter System, Reduces Iron, Manganese, Chlorine, Sediment, Taste, and Odor	NA	1	LINK		
MICROWAVE		1.7 cu. ft. 1000-Watt Over the Range Microwave in Stainless Steel	Stainless Steel	1	LINK		

PROJECT: [ENTER]
ROOM/AREA: BACK PORCH GRILL
AREA



ITEM	IMAGE	PRODUCT	COLOUR/FINISH/SIZE	QTY	LINK	LEAD TIME	INTL
Outdoor Grill		Emory 9' Galvanized Steel Outdoor Kitchen Island	Gray/Galvanized	1	LINK	In Stock	
	 STOWAWAY SINK WITH REMOVABLE FAUCET			1	LINK		
	 NATURAL GAS CONVERSION KIT			1	LINK		
	 3 SOFT CLOSE			1	LINK		

August 7, 2025

TO: The Board of Architectural Design and Historic Review

RE: Certificate of Appropriateness for Major Works
Address: 511 S Irwin Ave (TMS: 7-16-02-134.00)
Historic District: Hampton Heights Historic District
Zoning: R-8 SFD (Single Family District)
Owner/Applicant: Sarah Brodie
Contractor: Will Hammond

Request: The applicant is seeking approval to construct a new one-car garage at the end of the driveway. The applicant is also requesting to replace the two side-facing attic windows on the existing home.

Project Description and History

The project site is located on an approximately 20,000 square foot lot in the Hampton Heights Historic District on the east side of S Irwin Ave and north of S Hampton Dr. The residential structure was constructed in 1940. It is a one-story home with mid-century minimal traditional architecture.

The proposed structure is a one-car garage with a loft. The garage is 24 feet long, 16 feet wide, and has a peak ridge height of 18 feet 7 inches. The garage door that faces the street is proposed as a carriage-style door. The siding is proposed as shingle siding that will match the house. The roof is proposed as metal/tin roofing.

The applicant is seeking approval to replace two original windows that are located in the gable ends of the house and are not visible from the public way. The applicant states that the windows have deteriorating frames and sashes that are beyond repair. The windows will be replaced with like-for-like six over six single pane all wood windows. Exterior casings will remain. Photos of both the interior and exterior of the windows are included as well as the specifications for the proposed windows are included in the application.

Analysis

Zoning Ordinance and Historic Design Manual Consistency

The design guidelines are outlined in the Hampton Heights Design Guidelines for the City of Spartanburg Historic District Preservation Principles and Approaches. The purpose of the guidelines is to provide property owners with guidance for the preservation and protection of historic and architecturally valuable districts and sites in the City.

The project is also subject to Section 510 of the City's Zoning Ordinance, Historic Preservation. This section allows the Board to review applications involving historic structures and districts and issue a Certificate of Appropriateness subject to the standards listed in the Ordinance.

The project site has a zoning designation of R-8 SFD, Single Family District. Section 510.6 of the City of Spartanburg Zoning Ordinance list standards for reviewing a Certificate of Appropriateness. Specifically, Section 510.6 (C)(2) states that in reviewing applications for new construction or alteration, the Board shall consider the U.S. Secretary of the Interior's Standards for Rehabilitation and the five criteria listed in the findings.

Hampton Heights Design Guidelines

Findings - Windows

Certificate of Appropriateness, Section 510.6 (C)

a. The character and appropriateness of the design

Section 8.1.4 Windows of the Hampton Heights design guidelines states, "...Windows are very important in creating rhythm on a house and also play a role in the directional emphasis and scale of building. Existing windows, including window sash, glass, lintels, sills, frames, molding, shutter, and all hardware shall be retained and repaired through routine maintenance whenever possible. When deteriorated elements must be replaced, new materials shall be compatible with original materials in terms of material, design, and hardware. If it is necessary to replace an entire window, the replacement shall be sized to the original opening and shall duplicate all proportions and configurations of the original window.

The residences of Hampton Heights display a variety of window types and materials. Sash, casement, pivot, and decorative fixed windows are all found in the district. Wood sashes are most typical, but metal, as in the case of casement, is also present. Single, grouped, tripartite, and even banded are all arrangements found in the district. The glazing patterns, materials, and arrangements of windows play a key role in defining the styles of Hampton Heights architecture and contribute to the overall appearance of the district."

- The proposed replacement windows are wood single pane six over six windows. This is a like-for-like replacement that will match the existing windows.

b. The scale of the buildings

- Replacing windows will not affect the scale of the building.

c. The texture and materials

- The proposed windows are like-for-like wood single pane six over six windows. The texture and materials are consistent with the design guidelines.

d. The relationship of such elements to similar features of structures in the immediate surroundings –

- The properties in the immediate surroundings appear to have wood windows. As these windows are a like-for-like replacement, they will be consistent with features of surrounding historic homes.

e. If the property is in a Historic District, the extent to which the alteration or construction would be harmonious with the Historic District –

- Replacing the two side-facing attic windows with like-for-like wood single pane six-over-six windows would be historically appropriate and harmonious with the historic district.

Findings - Garage

Certificate of Appropriateness, Section 510.6 (C)

a. The character and appropriateness of the design

Section 10.2.6 Accessory Buildings of the Hampton Heights Design Guidelines states, "...A number of historic garages and garage apartments remain intact in the Hampton Heights neighborhood. These accessory buildings are generally located to the rear of the main house and are important site elements of the overall historic property. They often reflect the architectural style and character of the main house in their materials and design. Many of these accessory buildings have been lost over the years. Guideline: New accessory buildings, such as garages or storage houses, shall be located in rear yard spaces and visually buffered from adjacent property owners and the public right-of-way. Accessory buildings that complement and/or duplicate the architecture of the adjacent residence do not require the same amount of buffering but may remain more visible within the local district."

- The proposed structure is located to the rear of the main house. The siding will match the material of the main house. It is proposed as painted shingle siding. The architectural style of the exterior features is not compatible with the house. Specifically, the coverings over the garage doors and side doors resemble the arts & crafts style, but the house is from a later period (minimal traditional style). It is recommended that the applicant removes the coverings over the garage door and side door or replaces them with awnings that are more appropriate for the period style of the primary structure. The proposed structure is partially buffered from view by the primary structure as well as the landscaping along the property line. With the changes based on staff recommendations, the character and appropriateness of the design will be consistent with the historic district.

b. The scale of the buildings

- The proposed garage will be 24 feet long, 16 feet wide, and has a peak ridge height of 18 foot7 inches. The structure also includes a coverage porch facing the yard that extends 6 feet over the side door. The height of the porch is 8 feet. The roof pitch is 11:12, which matches the primary structure. The scale of the garage is consistent with other garages in the historic district.

c. The texture and materials

- The proposed garage will use painted shingle siding that matches the existing house. Staff recommends providing a sample of the siding for staff review. The roof is proposed as a metal/tin roof. This roof does not match the architectural shingles of the existing home. Staff recommends changing the roof material to architectural shingles that match the primary home. Carriage style garage doors are proposed to face the street. There is one window facing the street over the garage door. This is proposed as a double hung four over four window. Renderings of the proposed garage are included in the application. With the changes based on staff recommendations, the texture and materials will be consistent with the historic district.

d. The relationship of such elements to similar features of structures in the immediate surroundings –

- The proposed garage design is consistent with similar garages in the surrounding area. The siding material is consistent with the primary structure. Homes in the surrounding areas have garages with similar features to the proposal.

e. If the property is in a Historic District, the extent to which the alteration or construction would be harmonious with the Historic District –

- The structure will be similar to other accessory structures in the neighborhood. With minor changes based on the staff recommendations, the garage's features will duplicate the architectural style of the primary structure. The overall features are harmonious with the historic district, and much of the proposed garage is also buffered by the primary structure and adjacent landscaping.

Staff Recommendation

Staff recommends approval of the proposed windows. The windows will be replaced with like-for-like wood single-pane windows. This aligns with the goal of the design guidelines to preserve the character of the historic residential buildings. Staff has also taken into account that the windows are not visible from the public right of way.

Staff recommends approval of the proposed garage contingent upon incorporation of the following revisions to ensure consistency with the Hampton Heights Design Guidelines.

Recommendation: Approval with Conditions

1. Applicant to provide samples/submittals of the siding, windows, garage door, and roof materials for staff review
2. Applicant to revise plans to incorporate architectural shingles instead of the proposed metal/tin roof.
3. Applicant to revise coverings over garage door and side door to align with minimal traditional architecture style of primary structure.

Zoning Conditions:

Area above garage is not to be used as a dwelling unit or office for a home occupation.

Submitted by:

Dominick Calace

Dominick Calace

Planner I

City of Spartanburg Planning Department

Attachments:

Conditions of Approval

Site Map

Zoning Map

Site Photos

Application and Materials

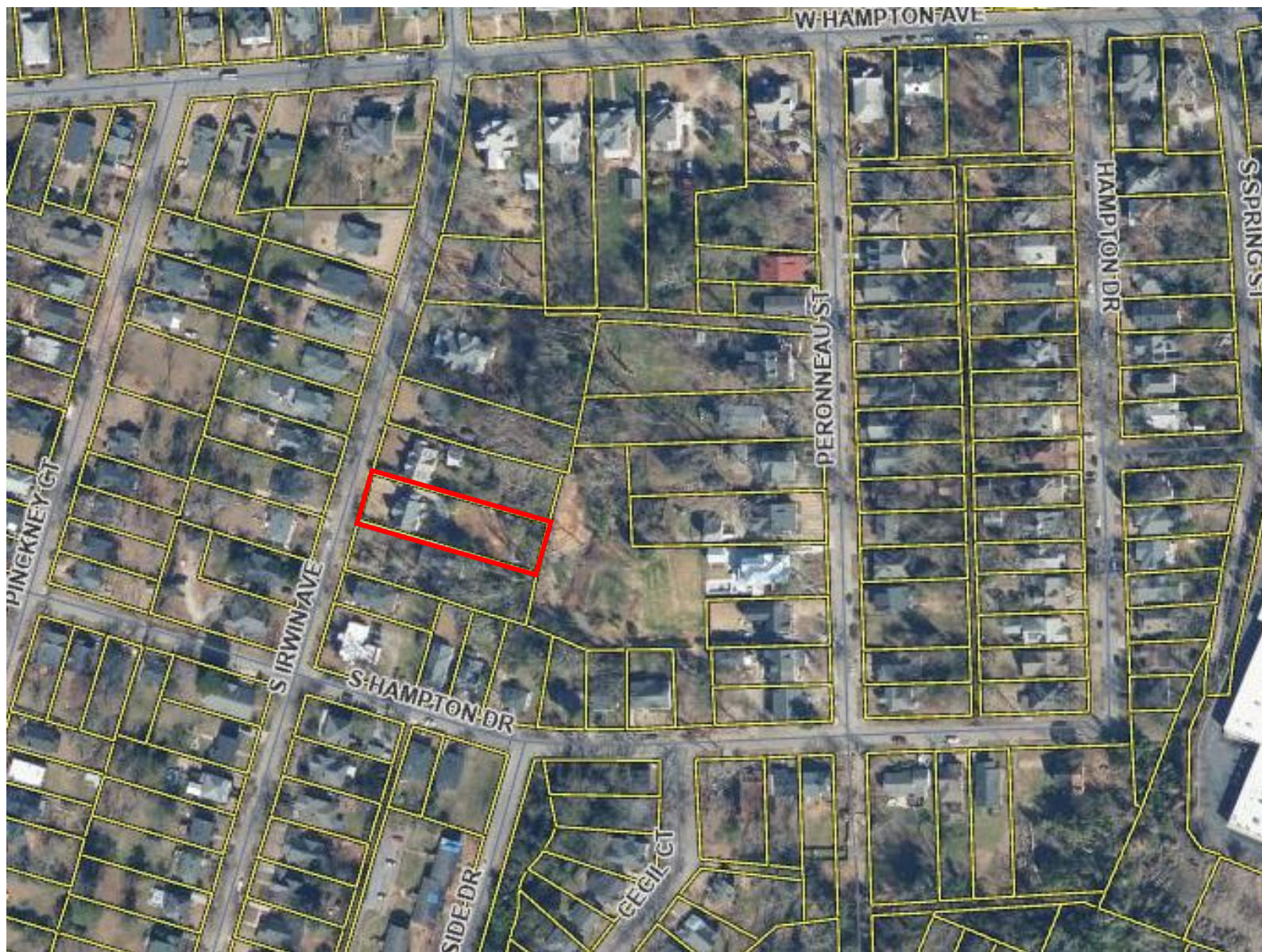
CONDITIONS OF APPROVAL FOR THE PROJECT ON PROPERTY AT:
511 S Irwin Ave (TMS: 7-16-02-134.00) - Hampton Heights Historic District

Owner/Applicant: Sarah Brodie

Contractor: Will Hammond

1. If one or more of the following conditions is not met with respect to all its terms, then this approval may be revoked.
2. All plans for future construction which are not covered by this review shall be submitted to the City Planning Department for review and approval.
3. Major modifications to plans or exceptions to completion may be granted only by the City authority which approved the project.
4. This permit shall be exercised within six months of the date of final approval, or it shall become null and void. Extensions may be granted with the permission of the Board.
5. A building permit shall be obtained from the Building Department prior to commencement of work.
6. The development of the site shall be in substantial accordance with the approved plans submitted and on file in the Spartanburg City Planning Department. Major modifications to plans or exceptions to completion may be granted only by the City authority which approved the project.

Site Map – 511 S. Irwin Ave



Zoning Map – 511 S. Irwin Ave

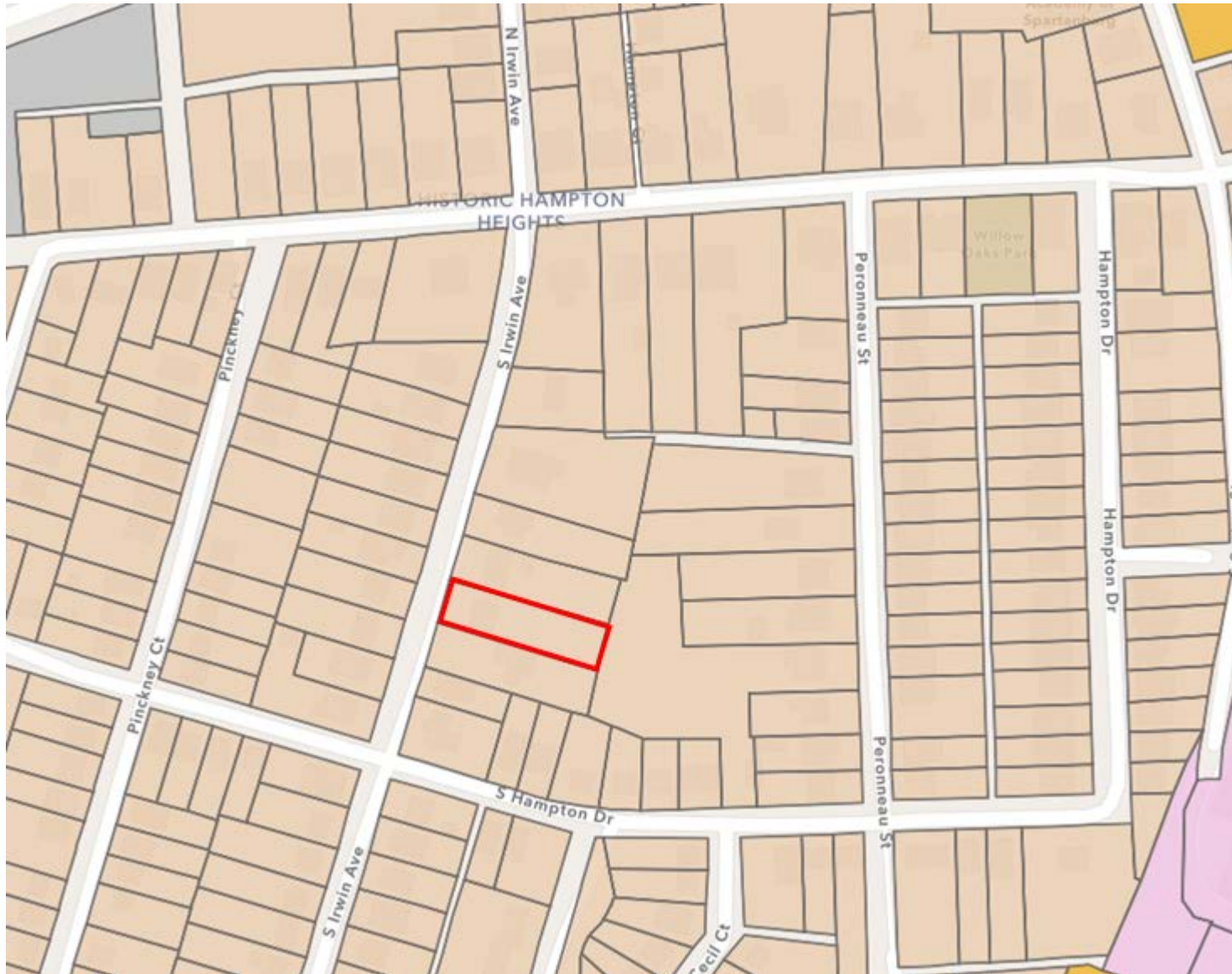


Photo - Front, Left, and Right of the Project Site



Properties to the Left and Right of Project Site



Properties in the Vicinity





Planning Department

PO Box 1749 • Spartanburg, SC 29304 • phone: (864) 596-2068 • email: planning@cityofspartanburg.org
 website: www.cityofspartanburg.org

Certificate of Appropriateness (COA) Historic Properties

Owner: Sarah Brodie Phone: 773-425-8484
 Address: 511 South Irwin Ave. Email: brodiescores@yahoo
 City: Spartanburg State: S.C. Zip: 29306

Applicant: same as above Phone: _____
 Address: _____ Email: _____
 City: _____ State: _____ Zip: _____

Contractor: Will Hammond Phone: 864) 431-4021
 Address: 108 Eastwood Circle Email: will@hcontracting.com
 City: Spartanburg State: SC Zip: 29302

Address of Property: 511 South Irwin Av
 Tax Map Number: 7-16-02-134.00 Zoning District R-8SFD

Please select the activity requested:

- ☐ Alteration of Structure/Property
☒ Repair of Structure/Property
☐ Addition to Existing Structure

- ☐ New Construction on Vacant Lot
☐ Demolition of Structure
☒ Other

Fees and Payments can be made using the Permit Number and the [City of Spartanburg Payment Portal](#).

To the best of my knowledge, the information on this application and all additional documentation is true, factual and complete. I hereby agree to abide by all conditions of any approvals granted by the City of Spartanburg. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale. I hereby authorize the staff of the Planning Department to inspect the premises of the above-described property.

Applicant: Signature: Paul Brodie Date: 7/16/25

Staff Use Only / Received by: _____

Date Received: _____ Time: _____ Permit Number: _____

Certificate of Appropriateness (COA) Additional Items

Please attach to this Application any of the applicable items:

- | | |
|---|--|
| ☐ Site Plans or Surveys | ☐ Detail Drawing(s), Floor Plans(s) or Sketch(es) |
| ☐ Photographs of Existing property | ☐ Material(s) and Sample(s) |
| ☐ Photographs of Changes requested | ☐ Other |

Description of Proposed work (attach extra sheets as needed):

Detached Garage - Build a new one car garage at the end of the driveway on the left side of the house. See attached floor plans for dimensions. Carriage style doors will face the street and shingle siding will match those on the house. Roof will be metal/tin.

Windows –Replace the 2 side facing attic windows which have deteriorated frames and sashes beyond repair. Exterior casing will remain in place. We are sealing and finishing the attic for use as a spare bedroom. We are replacing windows with 'like for like' single pane all wood windows with model of window printed and attached.

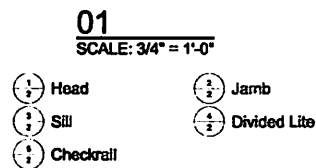
Please read and initial the following statements:

- LB I am the owner of the property, or
- _____ I am acting on behalf of the owner(s) of this property and have attached a letter from the owner(s) indicating their knowledge of this application.
- LB The information on this application represents an accurate description of the proposed work.
- LB I have omitted nothing that might affect the decision of the Historic Architect Review Board.
- LB I will attend (or send a representative to attend) the public hearing of this application before the Historic Architect Review Board.
- LB I understand that issuance of a Certificate of Appropriateness is not an authorization to begin work.

Received by: _____

Staff Use Only:
_____ MCOA - Minor

_____ COA - Major



Product Line: Ultimate Wood
Unit Description: Double Hung
Exterior Finish: Primed
Species: Pine
Interior Finish: Primed
Exterior Casing: Special Casing 18
Subsill: Simulated Thick Subsill

FOR DESIGN INTENT ONLY, NOT FOR MANUFACTURE.

PROJ/JOB: S11 S Invin St; Marvin Wood Historic Windows
DIST/DEALER: NEELEY'S WINDOWS DOORS & MORE
DRAWN: TAYLOR FRANCE
QUOTE#: BRRYPCK **PK VER:**0004:16.01 **CREATED:** 07/10/2025 REVISION:
SHEET
 1
 2

1-CAR GARAGE WITH LOFT

 sinel1office@gmail.com



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Construction Details	14
Electrical Plan	15
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PROJECT DATA

- 1-CAR GARAGE - COVERAGE PORCH - LOFT	
TOTAL AREA:	- 670 SF
PROPOSED HEIGHT:	- OVERALL HEIGHT +/- 13'-7"
OVERALL DIMENSIONS:	- LENGTH - 24'-0"
	- WIDTH - 16'-0"



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Plans & Blueprints

1-Car Garage With Loft

Cover page

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Disclaimer

Terms and Conditions:

The architectural drawing is intended for use by one household. The duplication, publication, sale or distribution of any portion of these plans without prior written consent from the original designer will be subject to the appropriate penalties for copyright infringement.

For multiple production unlimited options and permits for this model, please contact SinelHousePlans at sinel1office@gmail.com

Building Codes:

Variations in building codes, specific local development covenants, or site conditions may require modification to the design of the project plans. You are ultimately responsible for complying with all applicable permit, building codes and other regulatory requirements. Be sure to review the plans with your local building inspector and acquire all appropriate building permits prior to starting your project. The project plans have been designed in accordance with the Uniform Building Code.

Accuracy:

Every effort has been made to prepare a complete set of drawings, instructions and material lists. However, there always exists a possibility for errors or omissions. Therefore, you and/or your building contractor(s) shall assume the responsibility of verifying all conditions and dimensions contained within a project plan prior to the start of construction. You and/or your building contractor(s) shall assume the responsibility of verifying all conditions and dimensions contained within a project plan prior to the start of construction.

Liability:

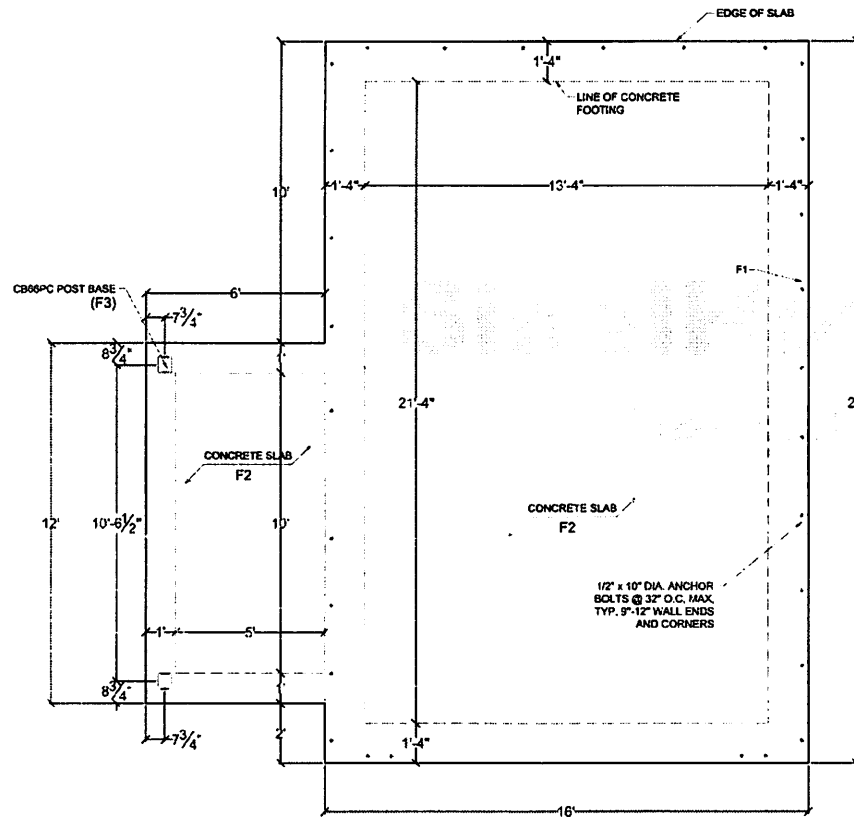
SinelHousePlans -Plans and Publications shall have no liability or responsibility for your action or inaction in connection with any project plan, or for any damage or liability that arises during the construction and/or use of any project or project plan. Always read and observe all of the safety precautions provided by any tool or equipment manufacturer and follow all accepted safety procedures. If you decide to use these plans, you should use only quality materials and should always follow good safety practices. In the event that you are unable to complete the project on your own, you should contact a certified contractor to ensure that construction is completed in accordance with the highest standards.

Material Lists:

Material Lists are based upon the drawings contained in this plan set. Actual quantities may vary based upon actual site conditions.

 SinelHousePlans[®] Plans & Blueprints	1-Car Garage With Loft	Page
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Slab Foundation Plan
(scale 1/4" = 1'-0")



Foundation Materials

Description	Dimension, / Area SF/	Qty.
Anchor Bolt, Washer (F1)	1/2" x 10"	29
Concrete (F2)	456 SF	
Post Base (F3)	CB66PC	2

(Footing not included in square footage)

3,000 PSI 4" CONCRETE SLAB ON GRADE
W/ #4'S @ 16" O.C. 4" CRUSHED FILL
OVER, COMPACTED GRADE, SLOPE TO
FRONT OF GARAGE.

Slab Foundation Notes:

- 1/2" X 10" ANCHOR BOLTS ARE TO BE PLACED AT 32" O.C.
- FOOTING TO BE INSTALLED ON UNDISTURBED OR COMPACTED SOIL. PROVIDE 4" GRAVEL UNDER CONCRETE SLAB.
- USING A CONCRETE SLAB INSTEAD OF A FRAMED FLOOR WILL LOWER THE FLOOR HEIGHT BECAUSE YOU ARE NOT INSTALLING 6" FLOOR JOISTS.
- CHECK LOCAL BUILDING REQUIREMENTS FOR FROST PENETRATION DEPTHS AND REQUIRED DEPTH OF FOOTINGS.
- REMOVE BOLTS WHEN THEY ARE IN THE WAY OF A DOORS LOCATION.
- BOLT LAYOUT PATTERN WILL VARY DEPENDING ON DOOR LOCATION. VERIFY DOOR LOCATION AND INSTALL A BOLT WITHIN 6"- 9" OF THE DOOR OPENING AND NOT IN THE DOOR OPENING.
- 1. HOLD-DOWN CONNECTER BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS; AND HOLD-DOWNS SHALL BE FINGER TIGHT AND 1/2 WRENCH TURN JUST PRIOR TO COVERING THE WALL FRAMING. CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE STEEL PLATE WASHERS ON THE POST ON THE OPPOSITE SIDE OF THE ANCHORAGE DEVICE. PLATE SIZE SHALL BE A MINIMUM OF 0.299 INCH BY 3 INCHES BY 3 INCHES.
- 2. HOLD-DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.
- 3. ALL BOLT HOLES SHALL BE DRILLED 1/32" TO 1/16" OVERSIZED.



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1-Car Garage With Loft

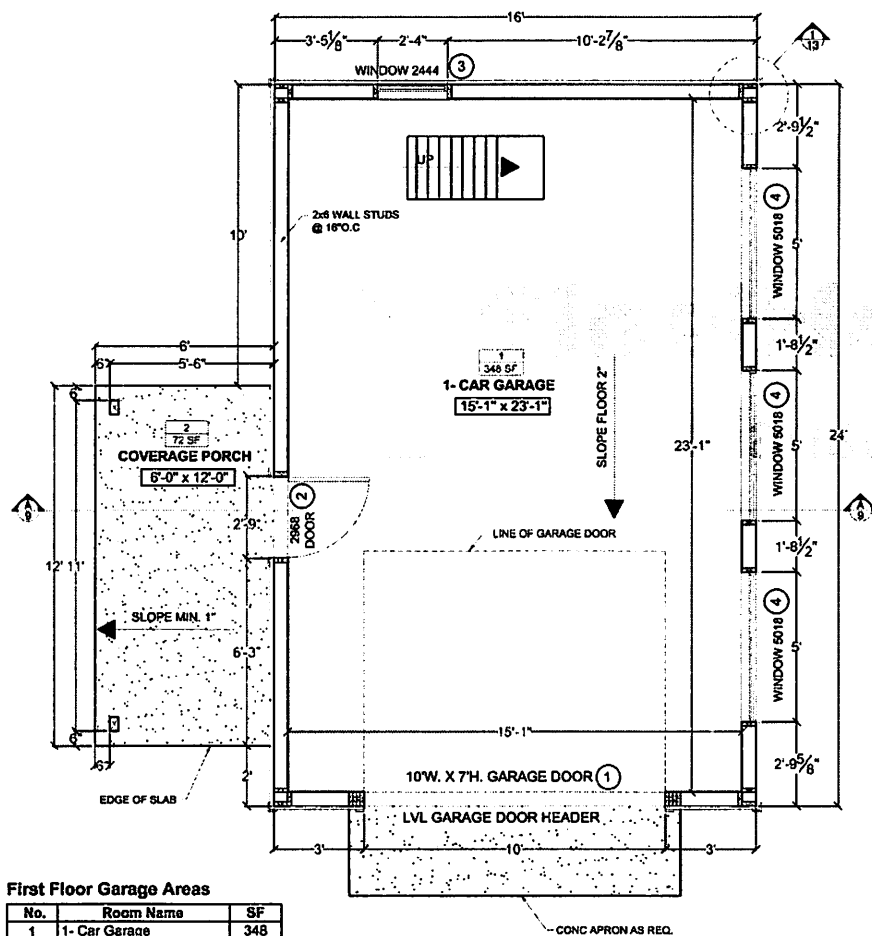
Slab Foundation Plan

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First and Loft Floor Plan
(scale 1/4" = 1'-0")

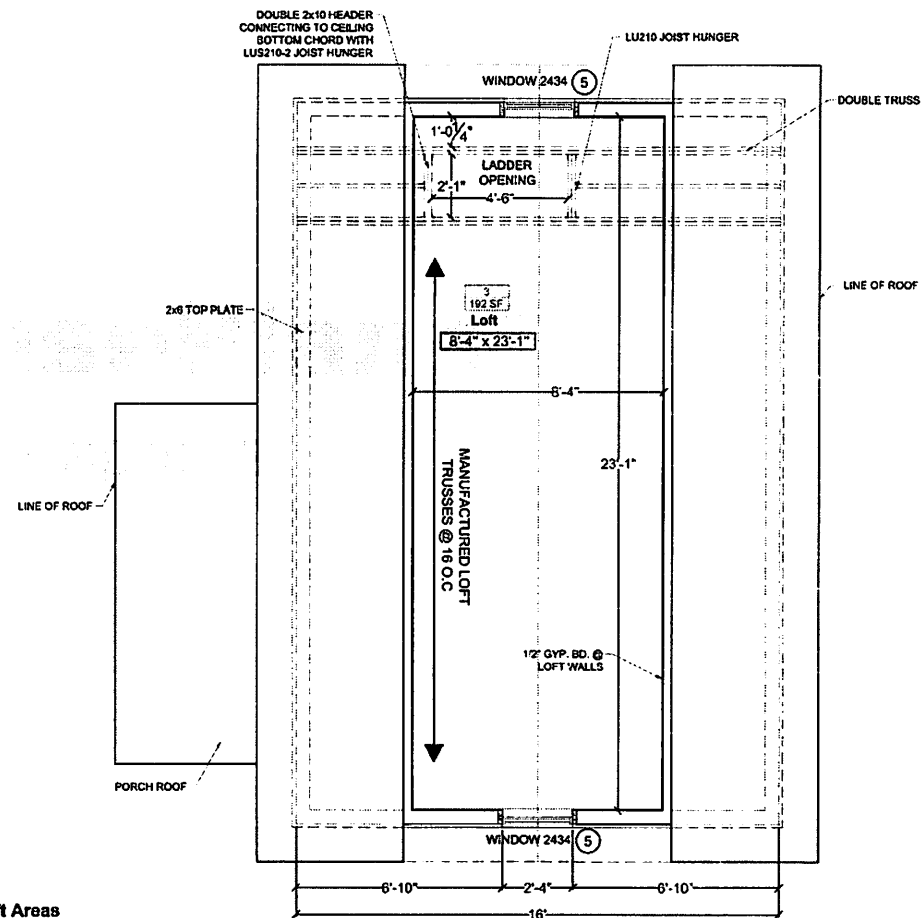
First Floor Plan
(scale 1/4" = 1'-0")



First Floor Garage Areas

No.	Room Name	SF
1	1- Car Garage	348
2	Coverage Porch	72
	Usable area	420
	Total area with walls	456

Loft Plan
(scale 1/4" = 1'-0")



Loft Areas

No.	Room Name	SF
1	Loft	192
	Total area with walls	214



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1-Car Garage With Loft

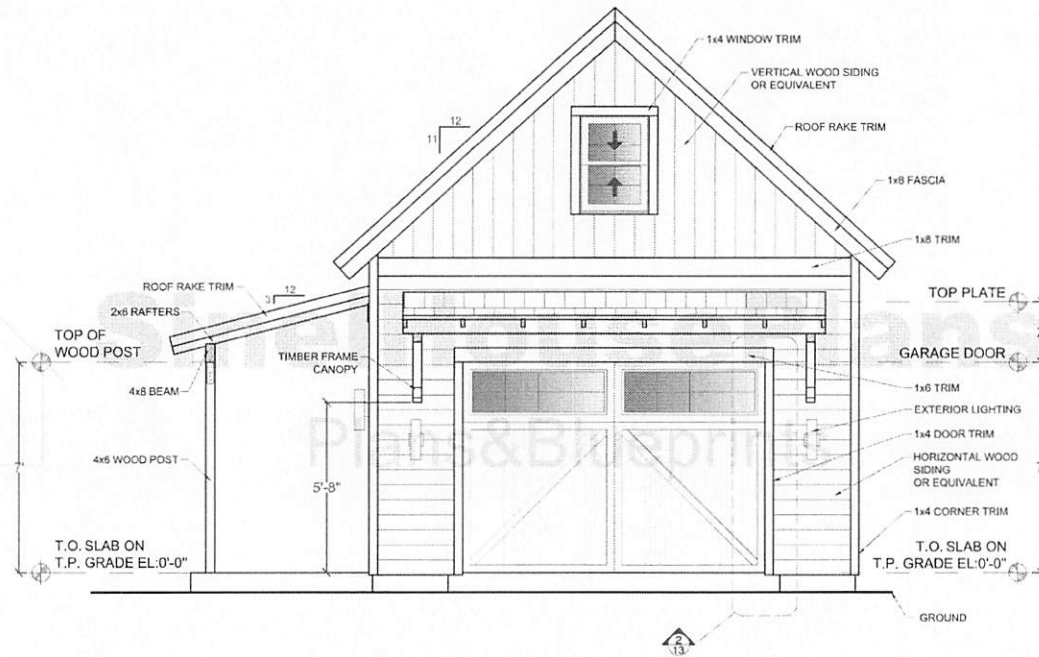
First and Loft Floor Plan

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Front Wall Elevation

(scale 1/4" = 1'-0")



WALL SYSTEM:

EXTERIOR:

SHINGLES HOUSE WRAP.

WALL SHEATHING: 3/8" OR 1/2" PLYWOOD OR OSB.

SIDING: HORIZONTAL AND VERTICAL WOOD SIDING.

PROVIDE FOR DOORS AND WINDOWS 1X4, 1X6 TRIM, 1X4 TRIM FOR WALL CORNERS.

EXTERIOR WALL FRAMING: 2X6 DF OR SPF #2 STUDS @ 16" O.C.

2-2X6, 2-2X8 AND 2-2X12 HEADERS @ OPENINGS CAULKING AT ALL STUD AND PLATE JOINTS.

MINIMUM R-21 CAVITY INSULATION OR DENSE PACK CELLULOSE.

CAULK & SEAL @ EXT. DOORS AND WINDOWS.

INTERIOR SURFACE:

USE VAPOR BARRIER WITH WOOD PANELING OR 1/2" DRYWALL ON WALLS & CEILING.

INTERIOR: LATEX PAINT.

PLEASE CONTACT YOUR LOCAL ENGINEER TO CHOOSE BUILDING MATERIAL

SUITABILITY IN YOUR REGION.

ROOF AND FLOOR SYSTEM :

STANDING SEAM METAL ROOF OR COMPOSITE

SHINGLES

1/2" CDX SHEATHING

ENGINEERED

TRUSSES @ 16" O.C. AND 2X8 RAFTERS @ 24" O.C.

R21, R-30 AND R-38 INSULATION

1/2" G.W.B. (FIRE RATING)

3/4" SHEATHING CEILING FLOOR



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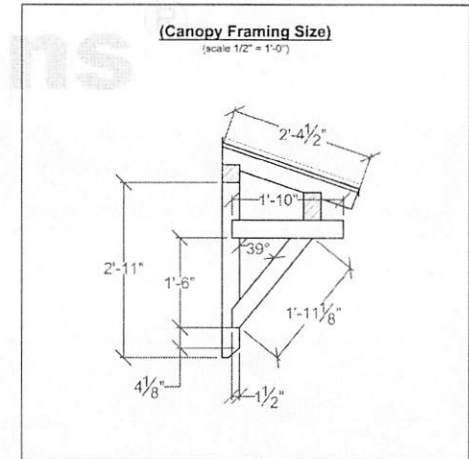
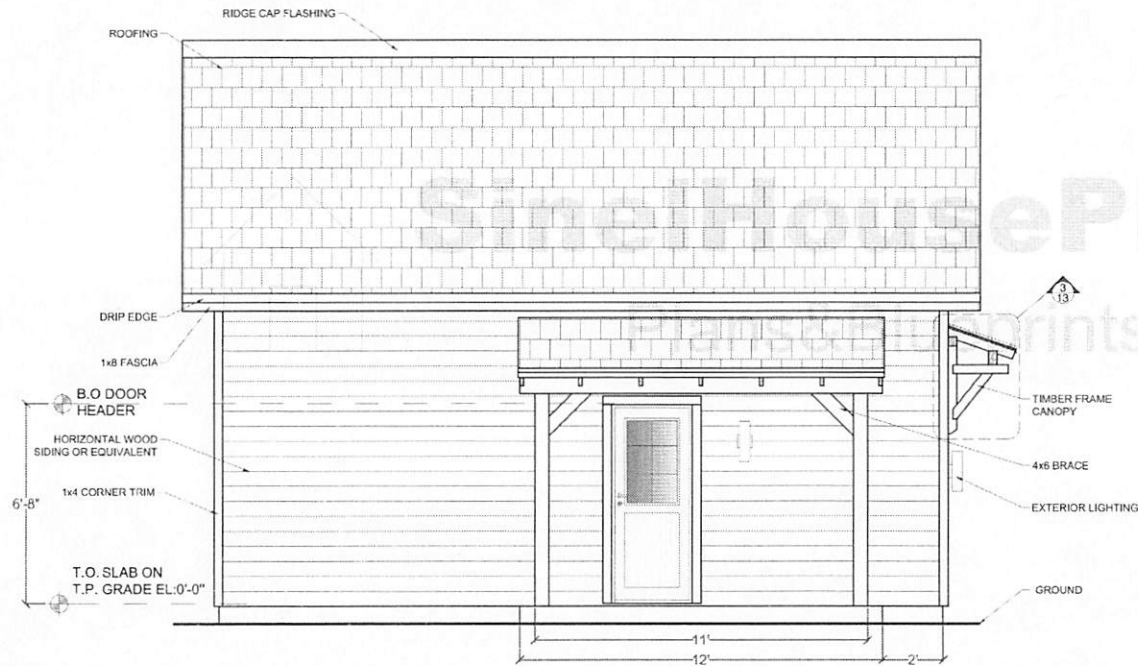
1-Car Garage With Loft

Front Wall Elevation

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Left Wall Elevation
(scale 1/4" = 1'-0")



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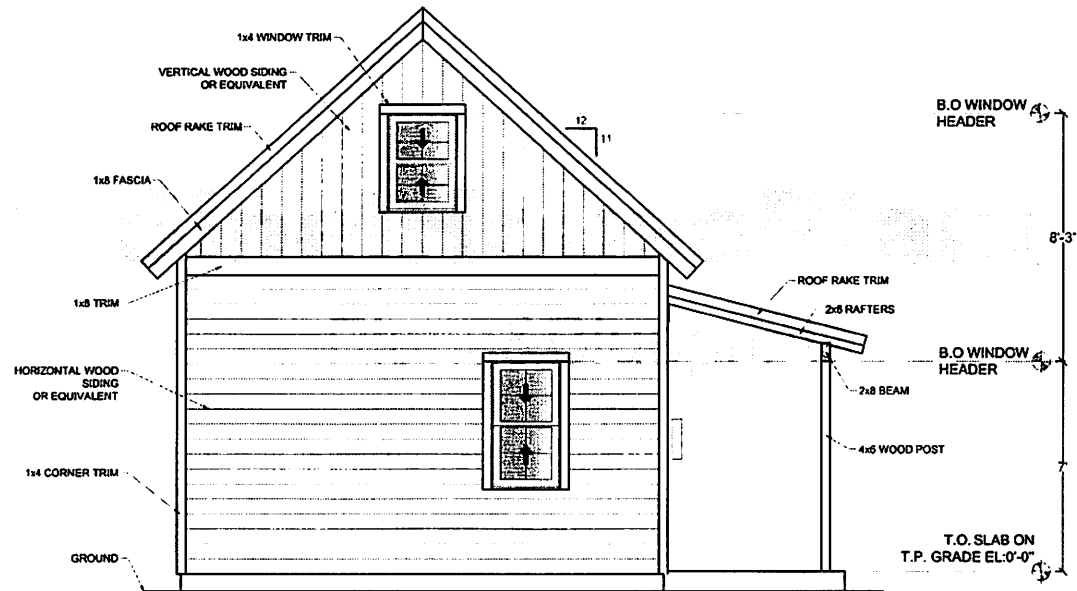
1-Car Garage With Loft

Left Wall Elevation

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Rear Wall Elevation
(scale 1/4" = 1'-0")



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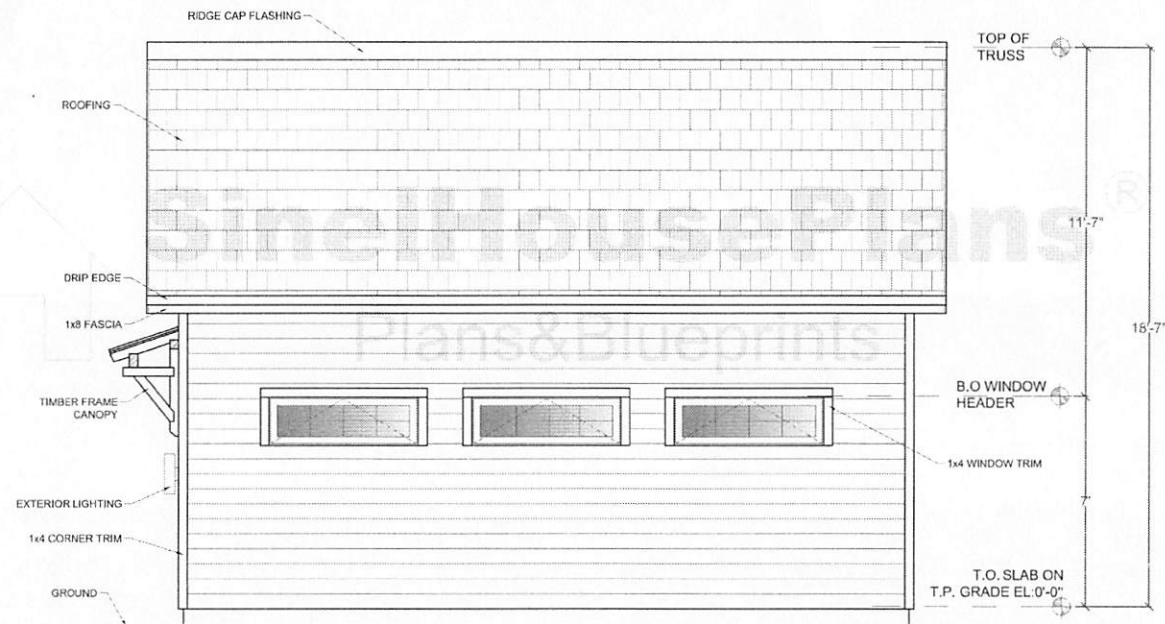
1-Car Garage With Loft

Rear Wall Elevation

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Right Wall Elevation
(scale 1/4" = 1'-0")



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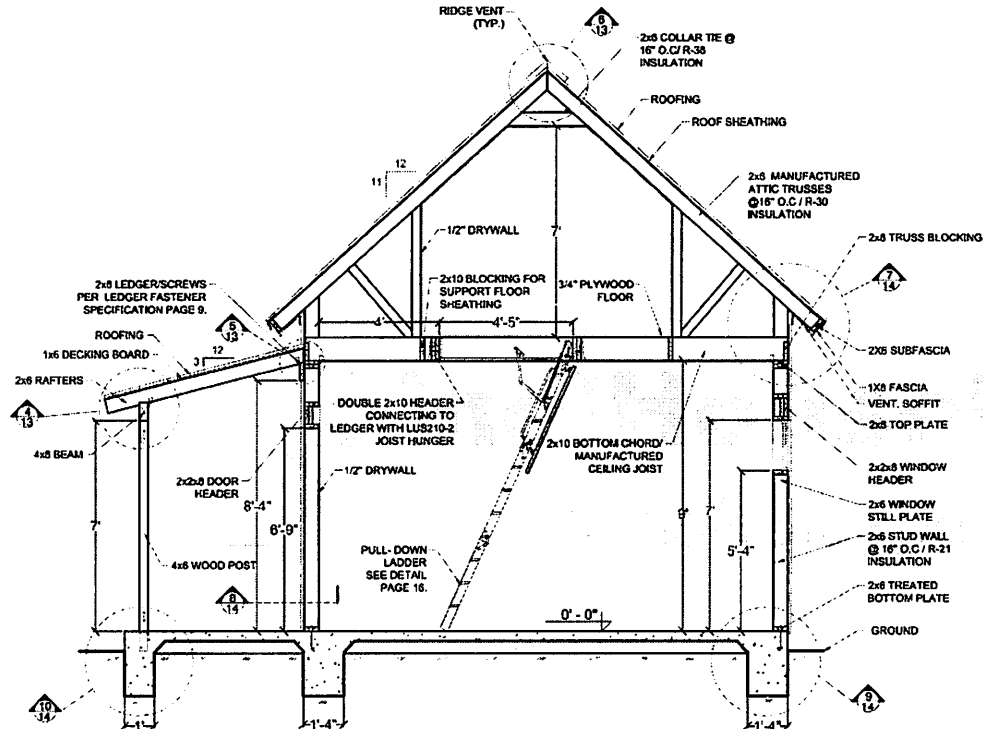
1-Car Garage With Loft

Right Wall Elevation

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Cross Section A - A
(scale 1/4" = 1'-0")



NAILING SCHEDULE:

JOIST TO SILL OR GIRDER	3-8d	TOE NAIL
BRODING TO JOIST	2-8d	TOE NAIL
2" SUBFLOOR TO GIRDER	2-16d	SID & FACE
SOLE PL. TO JOIST	16d @ 16"	FACE NAIL
TOP PLATE TO STUD	2-16d	END NAIL
STUD TO SOLE PLATE	3-8d	TOE NAIL
	2-16d	TOE NAIL
	3-10d	FACE NAIL
COLLAR TIE RAFTER		
BLOCKING BETWEEN JOISTS	3-8d	TOE NAIL
OR RAFTERS TO TOP PLATE	10d @ 24"	FACE NAIL
DOUBLE STUDS	16d @ 16"	FACE NAIL
DOUBLE TOP PLATE	16d @ 16"	FACE NAIL
CONTINUOUS HEADER (2PC)	16d @ 16"	EDGE NAIL
CL G. JST. TO PLATE	3-8d	TOE NAIL
CL G. JST. LAP OVER PLATE	3-16d	FACE NAIL
CL G. JST. TO RAFTER	3-16d	FACE NAIL
RAFTER TO TOP PLATE	2-16d	TOE NAIL
MULTI-UP CORNER STUDS	10d @ 24"	FACE NAIL
PLYWOOD SUBFLOOR	8d @ 12"	EDGE NAIL
	8d @ 12"	INTERIOR
PLY WALL & ROOF SHEATHING	8d @ 12"	EDGE NAIL
	8d @ 12"	INTERIOR
TOP PLATE AT INTERSECTIONS	2-16d	FACE NAIL
MULTIPLE JOISTS	10d @ 24"	STAGGER NAIL
EA. LAYER (UP TO 3)		TOP & BOTTOM
MULTIPLE JOISTS (OVER 3)	1/2" DIA. BOLTS W/ WASHERS EA. SIDE @ 24" O.C.	
1X8 SPACED SHEATHING	2-8d	FACE NAIL

7. MANUFACTURED TRUSS JOISTS MAY BE SUBSTITUTED FOR 2X JOISTS WHERE APPLICABLE.

IT IS STRONGLY ADVISED TO CONSULT A STATE LICENSED STRUCTURAL ENGINEER TO ANALYZE THE DESIGNS HEREIN AND PROVIDE STRUCTURAL ENGINEERING DRAWINGS AND CALCULATIONS REQUIRED BY YOUR LOCAL BUILDING DEPARTMENT. EXAMPLES OF THIS WOULD BE, BUT NOT LIMITED TO:

- EARTHQUAKE-PRONE AREAS OF CALIFORNIA AND THE PACIFIC COAST
- HURRICANE RISK AREAS SUCH AS FLORIDA AND THE GULF STATES
- CAROLINAS AND ATLANTIC COAST
- NEW YORK, NEW JERSEY, NEVADA AND SECTIONS OF ILLINOIS

ADDITIONALLY, THESE PLANS DO NOT HAVE A PROFESSIONAL STAMP ATTACHED. IF YOUR BUILDING DEPARTMENT REQUIRES ONE, THEY WILL ONLY ACCEPT A STAMP FROM A PROFESSIONAL LICENSED IN THE STATE WHERE YOU PLAN TO BUILD. IN THIS CASE, YOU WILL NEED TO TAKE THE PLANS TO A LOCAL ENGINEER OR ARCHITECT FOR REVIEW AND STAMPING. IN ADDITION, PLANS WHICH ARE USED TO CONSTRUCT HOMES IN NEVADA ARE REQUIRED TO BE DRAWN BY A LICENSED NEVADA ARCHITECT.

STRUCTURAL ENGINEERING NOTES:

ANY STRUCTURAL ENGINEERING PLANS, CALCULATIONS, REQUIREMENTS, OR SPECIFICATIONS (INCLUDING, BUT NOT LIMITED TO, ARCHITECTURAL CONSTRUCTION DETAILS) SHOWN WITHIN THESE PLANS ARE INTENDED ONLY AS A GUIDE.

BECAUSE OF THE DIFFERENCES IN BUILDING CODES, ZONE REQUIREMENTS, ORDINANCES AND BUILDING REGULATIONS, THESE PLANS MAY NEED TO BE MODIFIED TO COMPLY WITH LOCAL REQUIREMENTS REGARDING SNOW LOADS, ENERGY CODES, SOIL AND SEISMIC CONDITIONS AND A WIDE RANGE OF OTHER MATTERS. IN ADDITION, YOU MAY NEED TO OBTAIN PERMITS OR INSPECTIONS FROM LOCAL GOVERNMENT AGENCIES BEFORE AND WHILE IN CONSTRUCTION.

LEDGER FASTENER SPECIFICATION

REFERENCE ALLOWABLE SHEAR LOADS FOR LEDGER TO STUD, EITHER DIRECT TO STUD OR WITH INTERMEDIATE LAYER OF WOOD STRUCTURAL PANEL SHEATHING						
MODEL NO. (LEDGER DIRECT TO STUD)	MODEL NO. (LEDGER TO STUD, WITH 1/2" WSP BETWEEN)	LEDGER NOMINAL SIZE (IN.)	NO. OF SCREWS PER STUD	ALLOWABLE SHEAR LOAD (LB.)		
				SP	DFL	SPF/HF
SDWS224000B	SDWS225000B	2x6	2	785	630	565
		2x8	3	1000	890	855
		2x10	4	—	1040	1040
SDWH194000B	SDWH196000B	2x6	2	630	630	540
		2x8	3	630	815	815
		2x10	4	—	1170	975



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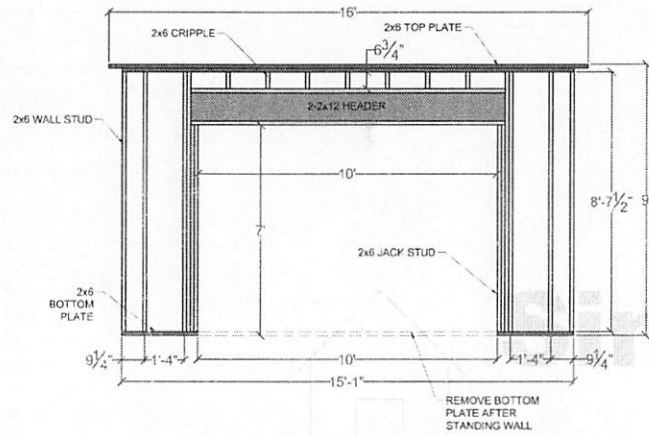
1-Car Garage With Loft

Cross Section A-A

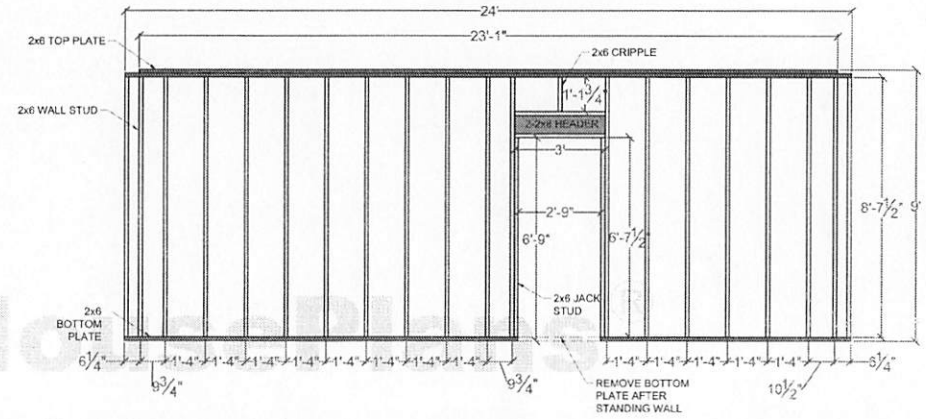
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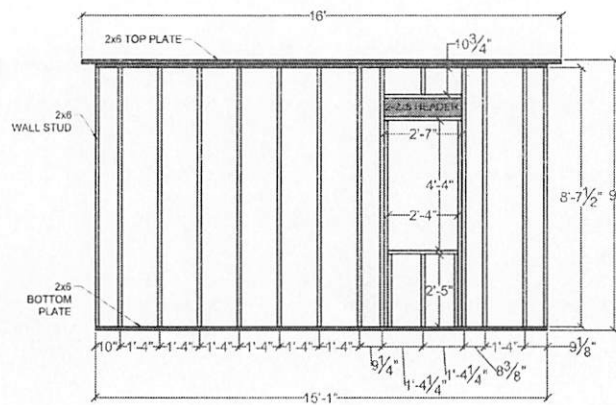
Front Wall Framing
(scale 1/4" = 1'-0")



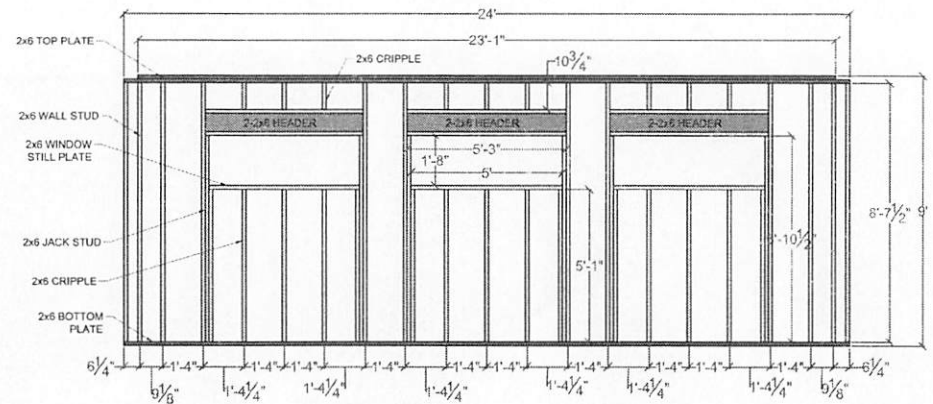
Left Wall Framing
(scale 1/4" = 1'-0")



Rear Wall Framing
(scale 1/4" = 1'-0")



Right Wall Framing
(scale 1/4" = 1'-0")



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1-Car Garage With Loft

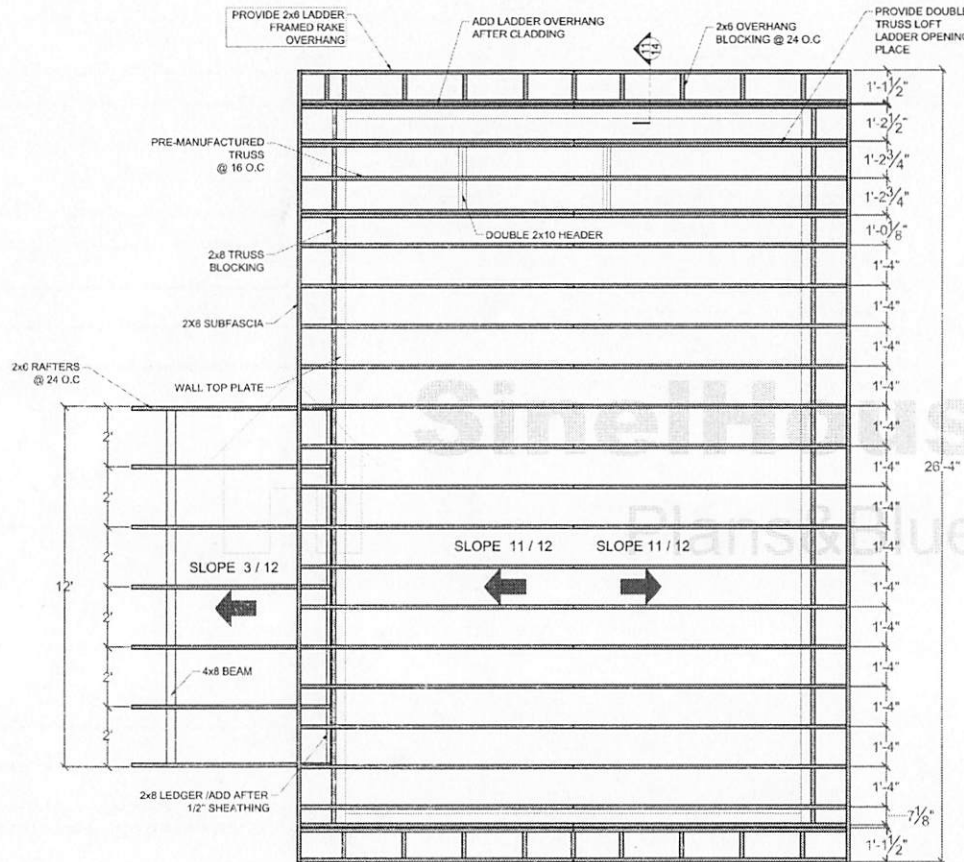
Wall Framing

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Roof Framing Plan

(scale 1/4" = 1'-0")

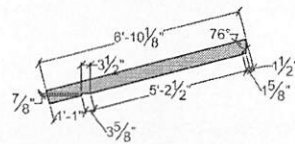


GENERAL:

THE ROOF FRAMING LAYOUT ON THIS PAGE IS INTENDED TO BE A SUGGESTED LAYOUT ONLY. DESIGN LOADS & WEATHER CONDITIONS VARY BY REGION. AS A RESULT THE SIZE, SPACING & LAYOUT OF ALL STRUCTURAL ELEMENTS IN THIS HOME DESIGN MUST BE APPROVED BY A STRUCTURAL ENGINEER AND CODE OFFICIAL BASED ON YOUR SPECIFIC SITE LOCATION PRIOR TO CONSTRUCTION.

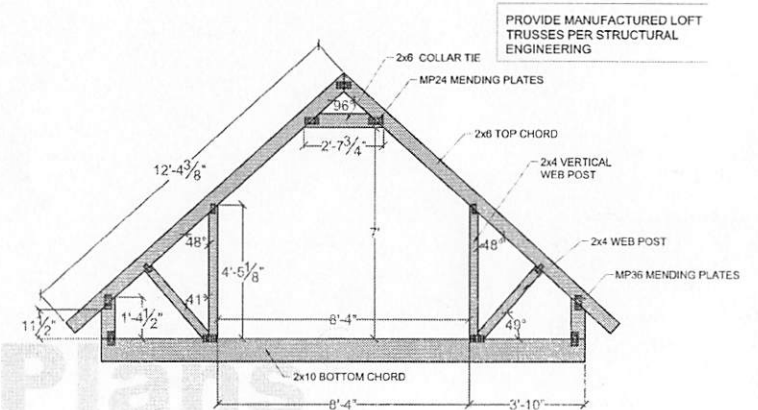
Covered Porch Rafter

(scale 1/4" = 1'-0")



Raised-Heel Truss Layout

(scale 1/4" = 1'-0")

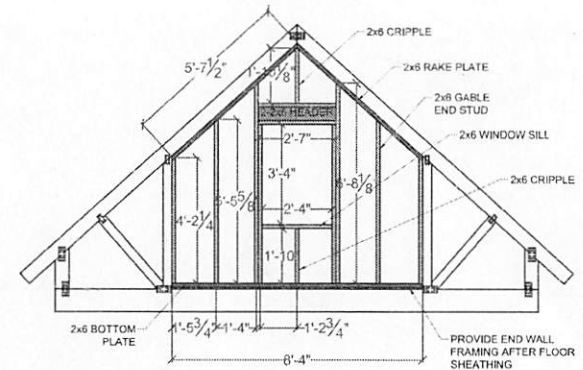


MP Mending Plates Legend:

- MP24
- MP36

Gable End Truss Framing

(scale 1/4" = 1'-0")



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1-Car Garage With Loft

Roof Framing Plan

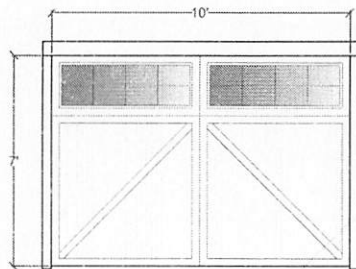
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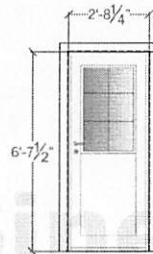
Window & Door Schedule

(scale 1/4" = 1'-0")

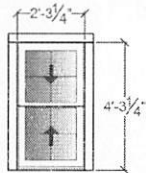
① OVERHEAD GARAGE DOOR W/ OPENER



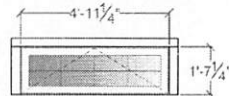
② EXTER. CLAD PATIO DOOR - INSWING



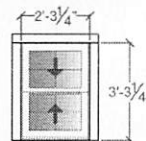
③ DOUBLE HUNG WINDOW



④ TRANSOM-VENTING WINDOW



⑤ DOUBLE HUNG WINDOW



Door, Window

Description	Dimension, (Rough Opening)	Length	Qty.
Garage Door	10'-0" (w) x 7'-0" (h)		1
Exterior Door 2968	2'-9" (w) x 6'-8" (h)		1
Double Hung Window 2444	2'-4" (w) x 4'-4" (h)		1
Transom-Venting Window 5018	5'-0" (w) x 1'-8" (h)		3
Double Hung Window 2434	2'-4" (w) x 3'-4" (h)		2

DOOR NOTES:

- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- TEMPERED GLAZING SHALL BE PROVIDED AT HAZARDOUS LOCATIONS IDENTIFIED IN CRC R308. HAZARDOUS LOCATIONS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - GLAZING IN ALL DOORS.
 - GLAZING IN BATH & SHOWER ENCLOSURES.
 - GLAZING WITHIN A 24" ARC OF A DOOR EDGE.
 - PANELS OVER 9 S.F. WITH THE LOWEST EDGE LESS THAN 18" ABOVE FIN. FLOOR AND HAVING A TOP EDGE GREATER THAN 36" ABOVE FIN. FLOOR.

WINDOW NOTES:

- VERIFY ALL WINDOW DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
- AT LEAST ONE OPENING PER BEDROOM SHALL PROVIDE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. WITH A MINIMUM NET CLEAR OPENABLE WIDTH OF 20" AND A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND A FINISHED SILL HEIGHT NO LESS THAN 42" AND NOT MORE THAN 44" ABOVE THE FLOOR (R310.1).
 - 20" MIN. CLEAR WIDTH
 - 24" MIN. CLEAR HEIGHT
 - 5.0 SF MIN. OPENABLE AREA AT GRADE-FLOOR ONLY, 5.7 SF MIN. ELSEWHERE.
- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):
 - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
 - GLAZING IN RAILINGS.
 - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPools, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
 - GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.
 - GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.
- ALL WINDOWS SHALL BE DUAL-PANE, LOW-E WINDOWS.



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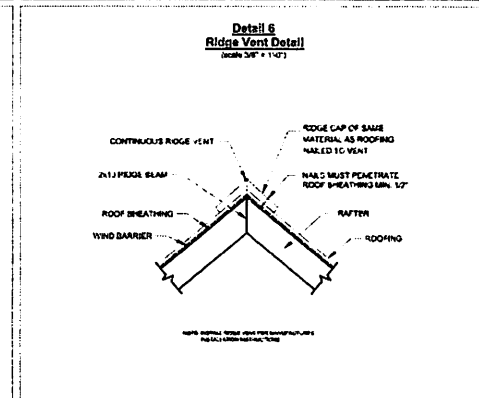
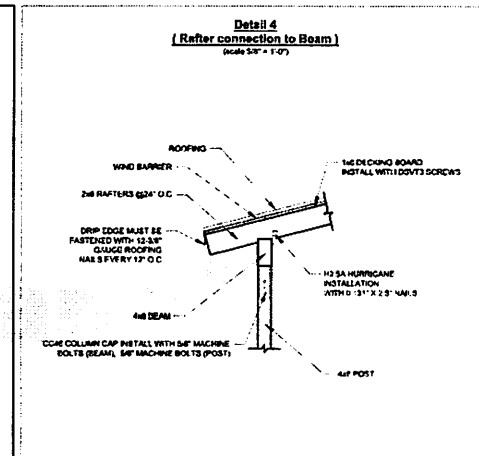
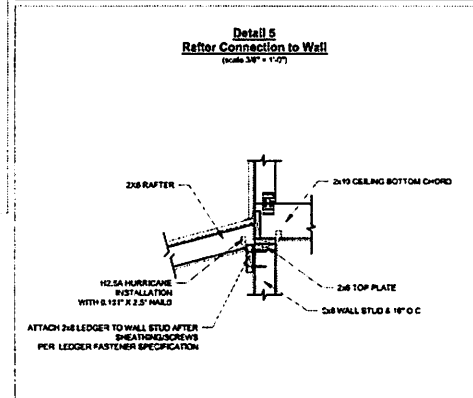
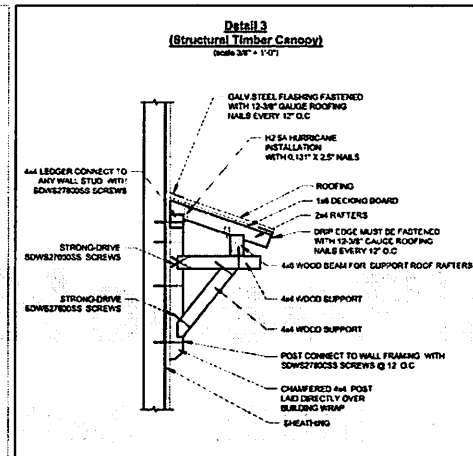
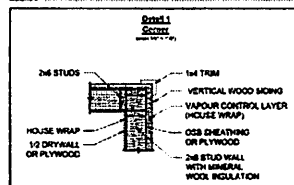
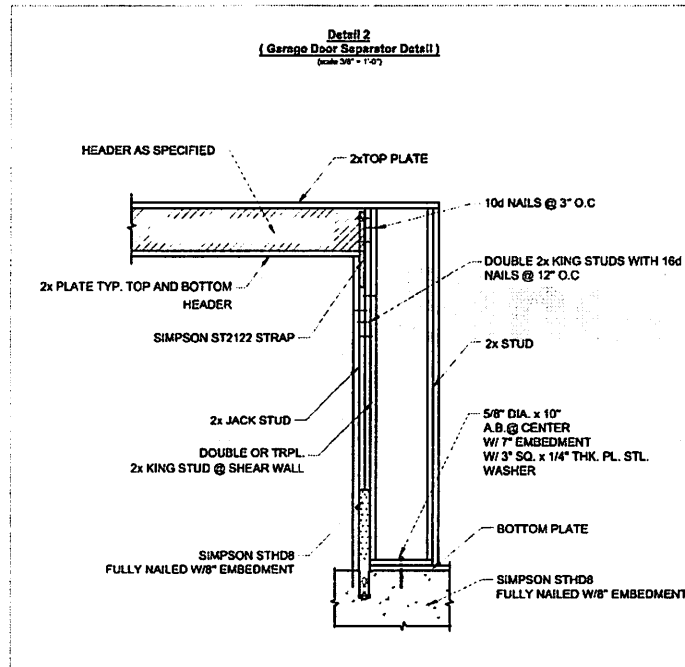
1-Car Garage With Loft

Window & Door Schedule

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Constructions Details (scale 1/4" = 1'-0")



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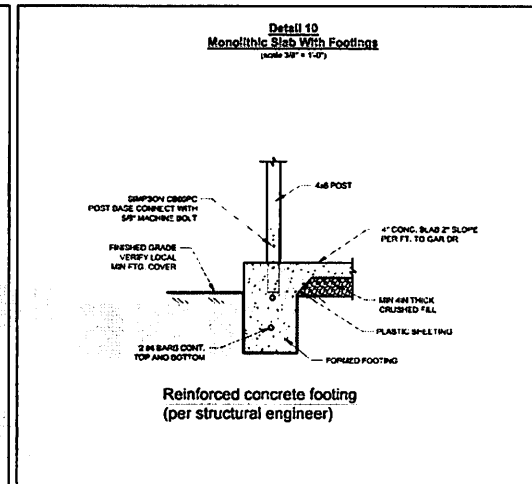
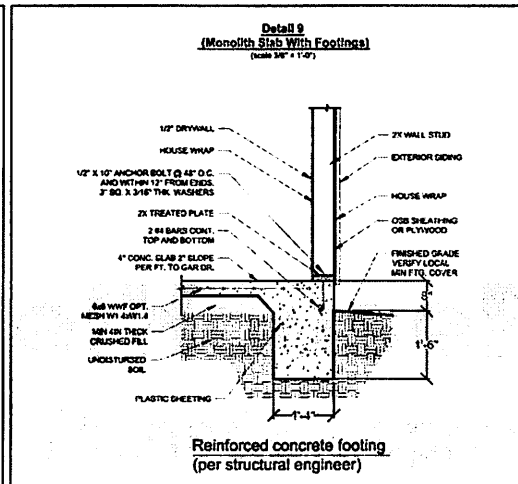
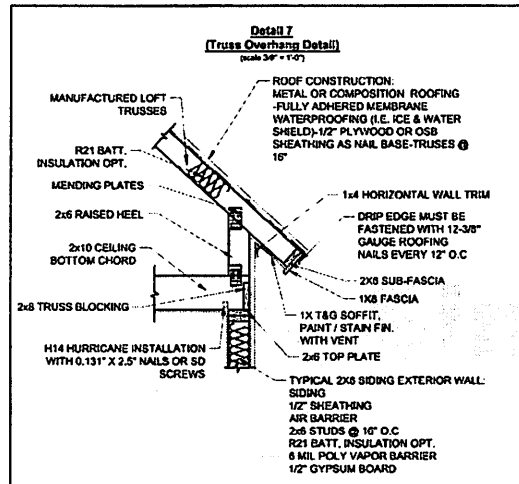
1-Car Garage With Loft

Construction Details

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Constructions Details (scale 1/4" = 1'-0")



CB66PC Post Base Installation:

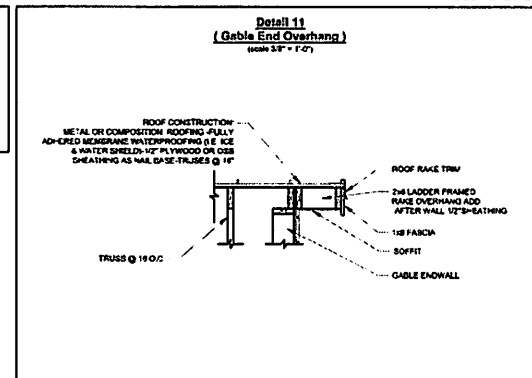
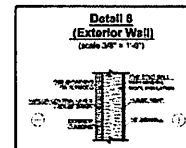
All references to bolts are for structural quality through bolts (not lag screws or carriage bolts) equal to or better than ASTM Standard A307, Grade A. Nuts shall be ASTM A563, Grade A or better, unless noted otherwise.

Unless otherwise noted, bending steel in the field may cause fractures at the bend line. Fractured steel will not carry load and must be replaced.

A fastener that splits the wood will not take the design load. Evaluate splits to determine if the connection will perform as required. Dry wood may split more easily and should be evaluated as required. If wood tends to split, consider pre-boring holes with diameters not exceeding 0.75 of the nail diameter (2015/ 2018 NDS 12.1.5.3). Use a 5/32" bit for Strong-Drive® SDS Heavy-Duty Connector screws and a 3/32" bit for Strong-Drive SD9/SD10 Connector screws Or 5/8" Machine Bolts.

CC46 Column Cap Installation:

Use all specified fasteners; see page 13. (Detail 5)
Bolt holes shall be a minimum of 1/32" to a maximum of 1/16" larger than the bolt diameter (per 2015 NDS, section 12.1.3.2); bolt holes should be drilled from one side all the way through the beam to maintain hole tolerances
Contact engineered wood manufacturers for connections that are not through the wide face



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1-Car Garage With Loft

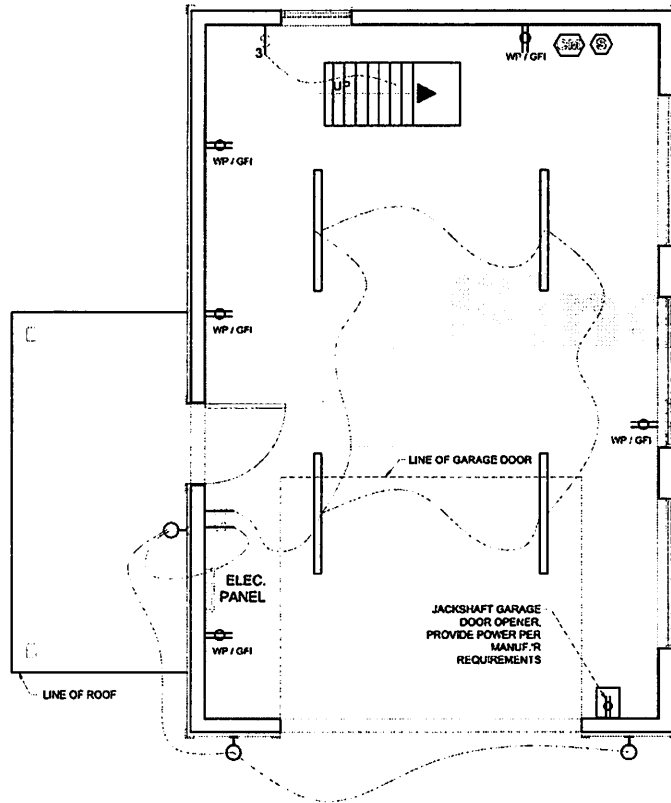
Construction Details

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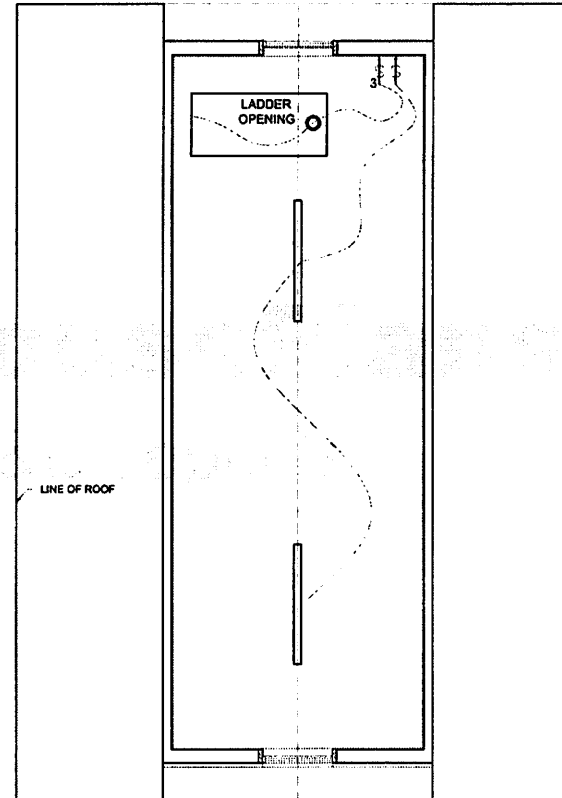
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Electric Plan
(scale 1/4" = 1'-0")

First Floor
(scale 1/4" = 1'-0")



Loft
(scale 1/4" = 1'-0")



ELECTRICAL NOTES (AS APPLIES):

1. ANY ELECTRICAL / LIGHTING PLANS, REQUIREMENTS, OR SPECIFICATIONS SHOWN WITHIN THESE PLANS ARE INTENDED ONLY AS A GUIDE. BECAUSE OF THE DIFFERENCES IN BUILDING CODES, ZONE REQUIREMENTS, ORDINANCES AND BUILDING REGULATIONS, THESE PLANS MAY NEED TO BE MODIFIED TO COMPLY WITH LOCAL REQUIREMENTS. **IT IS STRONGLY ADVISED TO CONSULT A LOCAL LICENSED ELECTRICIAN AND YOUR LOCAL BUILDING DEPARTMENT.**
2. OWNER TO VERIFY FINAL LOCATION OF ALL SWITCHES & RECEPTACLES.
3. CONFIRM BREAKER AND BRANCH CIRCUIT SIZES REQUIRED FOR ANY HVAC AND PLUMBING EQUIPMENT BEFORE INSTALLING BRANCH CIRCUITS OR ORDERING LOAD CENTERS.
4. RATING OF DISCONNECT SWITCHES SHALL BE NOT LESS THAN THE RATING OF THE BRANCH CIRCUIT CONDUCTORS.
5. PROVIDE SCHEDULE 40 PVC CONDUIT FOR MECHANICAL PROTECTION OF SERVICE CONDUCTORS FROM THE UTILITY FURNISHED PAD MOUNTED TRANSFORMED TO THE METER BASE. CONDUIT SHALL BE 2" MINIMUM AND INSTALLATION SHOULD BE AS REQUIRED BY LOCAL ELECTRIC SERVICE PROVIDER. COORDINATE ROUTING OF THESE CONDUITS IN THE FIELD WITH THE UTILITY AND WITH THE OTHER SITE WORK. TOP OF ELECTRICAL METER SHALL BE MOUNTED 4'-8" ABOVE FINISH GRADE.
6. EXTERIOR LIGHTING ATTACHED TO THE BUILDING SHALL BE CONTROLLED BY MOTION SENSOR & PHOTOCONTROL.

ELECTRICAL LEGEND

	110 VOLT DUPLEX RECEPTACLE
	110 V. WEATHERPROOF RECEPTACLE
	110 VOLT GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLE
	SINGLE POLE SWITCH
	220 V.
	AC PWR'D. SMOKE DETECTOR
	RECESSED L.E.D. DOWN LIGHT
	WALL-MOUNTED WATERPROOF EXTERIOR BRACKET LIGHT
	EXTERIOR CEILING RECESSED L.E.D DOWN LIGHT
	LONG SURFACE MOUNTED TUBE LIGHT (96W9D)

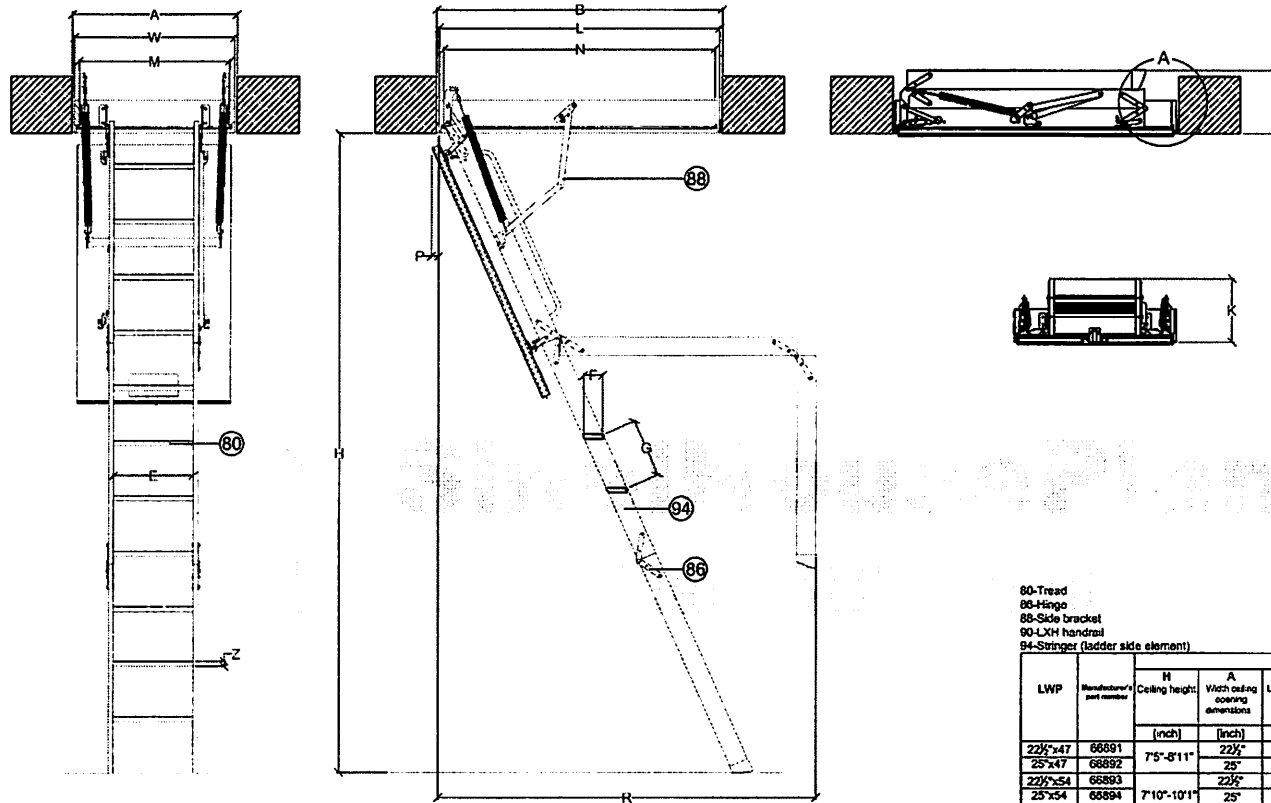
SMOKE DETECTOR NOTES:

SMOKE ALARM TO BE HARD-WIRED W/ BATTERY BACKUP.

CARBON MONOXIDE ALARM NOTES:

CARBON MONOXIDE ALARM TO BE HARD-WIRED WITH BATTERY BACKUP.

Ladder Technical Drawing
(scale 1/4" = 1'-0")



80-Tread
88-Hinge
88-Side bracket
90-LXH handrail
94-Stringer (ladder side element)

Q Distance between steps	S Steps width	E Steps length	P Boards movement after opening
(inch)	(inch)	(inch)	(inch)
9 1/2"	3 1/2"	13 1/2"	1 1/2"

		ATTIC LADDER LWP									
LWP	Manufacturer's part number	H Ceiling height	A Width ceiling opening dimensions	B Length ceiling opening dimensions	K Folded ladder height	R Projection	C Landing space	T Frame height	WxL Outside frame dimensions	WxH Internal box dimensions	
		(inch)	(inch)	(inch)	(inch)	(inch)	(inch)	(inch)	(inch)	(inch)	
22½"x47"	66891	7'5"-8'11"	22½"	47"	10½"	64½"	57½"	5½"	22"x46½"	20½"x44½"	
25"x47"	66892		25"	47"					24½"x46½"	23"x44½"	
22½"x54"	66893	7'10"-10'1"	22½"	54"		72"	64"		22"x53½"	20½"x51½"	
25"x54"	66894		25"	54"					24½"x53½"	23"x51½"	
30"x54"	66895	8'8"-10'8"	30"	54"		75½"	65½"		20½"x53½"	28"x51½"	
22½"x54"	66893		22½"	54"					22"x53½"	20½"x51½"	
25"x54"	66894		25"	54"					24½"x53½"	23"x51½"	
30"x54"	66895		30"	54"					20½"x53½"	28"x51½"	

LWP



GENERAL CONSTRUCTION NOTES

DIVISION 1. GENERAL DATA

1. ALL WORK SHALL BE IN CONFORMANCE WITH THE CURRENT LOCAL & NATIONAL BUILDING CODES, AND ANY OTHER GOVERNING BODY HAVING JURISDICTION OVER THE PROJECT.
2. THE PROJECT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS SHOWN OTHERWISE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.
3. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
4. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF ANY WORK AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OR OMISSIONS.
5. CHANGES IN THE DRAWINGS AND SPECIFICATIONS SHALL BE MADE IN WRITING ONLY AND SIGNED BY BOTH THE OWNER AND THE GENERAL CONTRACTOR.
6. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
7. EXISTING UTILITIES: THE GENERAL CONTRACTOR SHALL NOTIFY ALL PERSONS WORKING AT THE PROJECT SITE OF EXISTING UTILITIES.
8. THE GENERAL CONTRACTOR SHALL LOCATE AND IDENTIFY ACTIVE UTILITY SERVICE AND TEMPORARILY DISCONNECT AND/OR DEACTIVATE THEM WHEN THEY CONSTITUTE A HAZARD TO WORK IN PROGRESS.
9. CONSTRUCTION UTILITIES: THE GENERAL CONTRACTOR MAY USE THE (OWNER'S / CLIENT'S) WATER, GAS, AND POWER DURING THE COURSE OF CONSTRUCTION.
10. WEATHER PROTECTION: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PROJECT RELATED WORK AREAS FROM DAMAGE CAUSED BY RAIN AND OTHER NATURAL ELEMENTS. ALL WORK DAMAGED BY RAIN AND THE NATURAL ELEMENTS SHALL BE CORRECTED AND/OR REPAIRED BY THE GENERAL CONTRACTOR.
11. CLEANUP: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CLEANUP, INCLUDING GLASS AND HARDWARE.
12. ENERGY CONSERVATION STANDARDS: ALL WORK SHALL COMPLY WITH THE ENERGY CONSERVATION STANDARDS FOR RESIDENTIAL BUILDINGS AS REQUIRED BY LOCAL CODES / AGENCIES.
13. SECURITY PROVISIONS: THE GENERAL CONTRACTOR SHALL REVIEW WITH THE OWNER THE PROJECT SECURITY PROVISIONS PRIOR TO THE COMMENCEMENT OF WORK.
14. SCREEDS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURE.
15. A) W.D. FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MIN. (1 3/4" THICK RECOMMENDED) WITH SOLID CORE CONSTRUCTION.
16. B) DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMBS OR JOINED BY RABBIT TO THE JAMB.
17. C) PROVIDE DEAD BOLTS WITH HARDENED INSERTS. DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON THE EXTERIOR. LOCKS MUST BE OPENABLE FROM INSIDE WITHOUT A KEY.
18. D) SPECIAL KNOWLEDGE OR SPECIAL EFFORT.
19. E) STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR EXPANDING-LUG DEADBOLT SHALL HAVE A MIN. THROW OF 3/4".
20. F) CLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL.
21. G) OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES.
22. H) THE GENERAL CONTRACTOR SHALL REVIEW WITH THE OWNER THE ITEMS TO BE REMOVED AND SAVED, VERSUS REMOVED AND TRASHED, VERSUS REMOVED AND REINSTALLED.
23. PRIOR TO THE COMMENCEMENT OF WORK AS APPLIES.
24. I) SANITARY FACILITY: GENERAL CONTRACTOR TO PROVIDE PORTABLE TOILETS DURING THE DURATION OF THE JOB.

DIVISION 9. FINISHES

GYPSUM DRYWALL

1. ALL EXISTING ROOMS' SURFACES, APPLIANCES, EQUIPMENT, AND HARDWARE TO BE PROPERLY PROTECTED FROM DAMAGE CAUSED BY DRYWALL MUD APPLICATIONS AND SANDING.
2. DRYWALL TO BE 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED, TAPED, FILLED, AND SANDED SMOOTH, READY FOR PAINT.
3. DRYWALL TO BE PROPERLY CUT-IN ELECTRICAL OUTLETS AND FIXTURES. DRYWALL SUBCONTRACTOR TO VERIFY SIZE OF FINISH TRIM PRIOR TO INSTALLATION OF DRYWALL.
4. ALL DRYWALL METAL TO BE PLUMB, LEVEL, AND FREE OF NICKS/SCRATCHES UPON COMPLETION OF INSTALLATION.
5. LOWER 4'-0" OF BATHROOM AND LAUNDRY ROOM WALLS TO BE GREENBOARD.

PAINT

1. SCOPE: FURNISH AND INSTALL ALL PAINT COMPLETE INCLUDING REQUIRED SEAL COATS, PRIME COATS, AND FINISH COATS.
2. PAINTING SUBCONTRACTOR IS TO PROTECT HIS WORK AND ALL ADJACENT WORK AT ALL TIMES WITH SUITABLE COVERINGS. UPON COMPLETION OF THE WORK, HE SHALL REMOVE ALL PAINT, STAIN, FINISH COATS, OVERSPRAY, AND SPOTS FROM ALL FLOORS, WALLS, DOORS, GLASS AND HARDWARE.
3. NEW INTERIOR PLASTER AND DRYWALL TO BE SEALED WITH ONE COAT OF PVA SEALER PRIOR TO PRIME AND FINISH COAT APPLICATIONS.
4. WOOD TRIM TO BE PAINTED WITH AN OIL BASE SEMI-GLOSS ENAMEL.
5. TILE: ALL TILE IN SHOWERS TO HAVE ASPHALT BASE PAPER WITH METAL LATH AND PORTLAND CEMENT. SHOWER TO HAVE ONE NICHE MIN. FOR SHAMPOOS.

DIVISION 15. ELECTRICAL

1. ALL HOLES CUT INTO STUCCO OR DRYWALL BY MECHANICAL TRADES TO BE CUT CLEANLY TO A STUD AND BY USE OF A SAW.
2. SCOPE: FURNISH AND INSTALL ALL ELECTRICAL WORK COMPLETE INCLUDING TRENCHING, BACKFILLING, METERS, PANELS, UNDERGROUND SERVICE AND DISTRIBUTION, CONDUIT, OUTLET BOXES, WIRING, PLASTER RINGS, CIRCUIT BREAKERS, AND EQUIPMENT AND FIXTURES AS PER THE APPLIANCE AND EQUIPMENT SCHEDULE AND THE LIGHTING FIXTURE SCHEDULE. PROVIDE AND CONNECT THE REQUIRED SERVICE TO ALL APPLIANCES AND EQUIPMENT SHOWN ON THE DRAWINGS.
3. CONDUIT: ALL CONDUIT TO BE FLEXIBLE METAL CONDUIT.
4. SMOKE DETECTORS: SMOKE ALARMS TO BE INTERCONNECTED & HARD-WIRED W/ BATTERY BACKUP IN THE FOLLOWING:
 1. IN EACH BEDROOM
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE VICINITY OF THE BEDROOM.
 3. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
 4. SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP

PLUMBING

1. SCOPE: FURNISH AND INSTALL ALL PLUMBING COMPLETE INCLUDING DRAINS, VENTS, ROOF JACKS, SUPPLY LINES, AND APPLIANCES AND EQUIPMENT AS PER APPLIANCE AND EQUIPMENT SCHEDULE.
2. ALL SUPPLY LINES TO BE COPPER.
3. PROVIDE ULTRA-FLUSH WATER CLOSETS AT ALL TOILET LOCATIONS.
4. PROVIDE 72 IN. HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURES.
5. WATER HEATER MUST BE STRAPPED TO THE WALL IN (2) PLACES.

HEATING, VENTILATION, AND AIR CONDITIONING (HVAC)

1. SCOPE: FURNISH AND INSTALL ALL HVAC COMPLETE INCLUDING SUPPLY AND RETURN LINES, HEATING AND AIR CONDITIONING EQUIPMENT, THERMOSTAT, AND REGISTERS AS PER THE APPLIANCE AND EQUIPMENT SCHEDULE.

FLASHING

1. SCOPE: FURNISH AND INSTALL ALL FLASHING COMPLETE INCLUDING BUILDING PAPER AND METAL FLASHINGS.
2. ALL METAL FLASHING TO BE GALVANIZED SHEET STEEL, AS PER ASTM-B3.
3. ALL METAL FLASHING TO BE 24 GA. MINIMUM UNLESS NOTED OTHERWISE.

ROOFING

1. SCOPE: FURNISH AND INSTALL ALL ROOFING COMPLETE INCLUDING METAL DRIP CAP, ROOF JACKS AND VENTILATORS, UNDERLAYMENT PAPER AND FINISH AS SHOWN.
2. ROOF COVERING ASSEMBLIES SHALL BE AN ICC-ES OR UL LISTED CLASS "A" FIRE-RESISTIVE ROOF ASSEMBLY COMPLYING WITH ASTM E108 OR UL790.
3. PROVIDE ONE LAYER NO. 72 MINERAL-SURFACED NON-PERFORATED CAP SHEET.
4. MEETING ASTM D3909 BETWEEN ROOF COVERING & COMBUSTIBLE ROOF DECKING WHERE APPLICABLE.
5. ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES & DEBRIS.
6. ALL CRICKETS TO BE TORCH DOWN WITH FIBERGLASS BASE SHEET.
7. ALL VALLEYS TO HAVE GALVANIZED VALLEY FLASHING. SHINGLES TO BE CUT 3" TO CENTERLINE OF VALLEY.

WALLS

1. INSULATION: ROOF (VAULTED) R-30, ROOF (FLAT) R-38, FLOOR (OVER UNHEATED SPACE) R-25
2. WALLS: ALL EXTERIOR WALLS TO BE INSULATED WITH R-21 FIBERGLASS INSULATION MIN.
3. CEILING: ALL EXTERIOR CEILINGS TO BE INSULATED WITH R-38 FIBERGLASS INSULATION MIN.

WEATHERSTRIPPING

1. ALL EXTERIOR DOORS AND WINDOWS TO BE PROPERLY WEATHERSTRIPPED TO PREVENT INFILTRATION OF AIR AND MOISTURE.
- DESIGN LOADS:

ROOF 30 PSF (LIVE LOAD)
FLOOR 40 PSF (LL)
GARAGE FLOOR 50 PSF (2500 PT)
DECK 60 PSF (LL)
WIND 100 MPH
SEISMIC D1



SinelHousePlans®
Alternate Braced Wall Panel

1-Car Garage With Storage

General Construction Notes

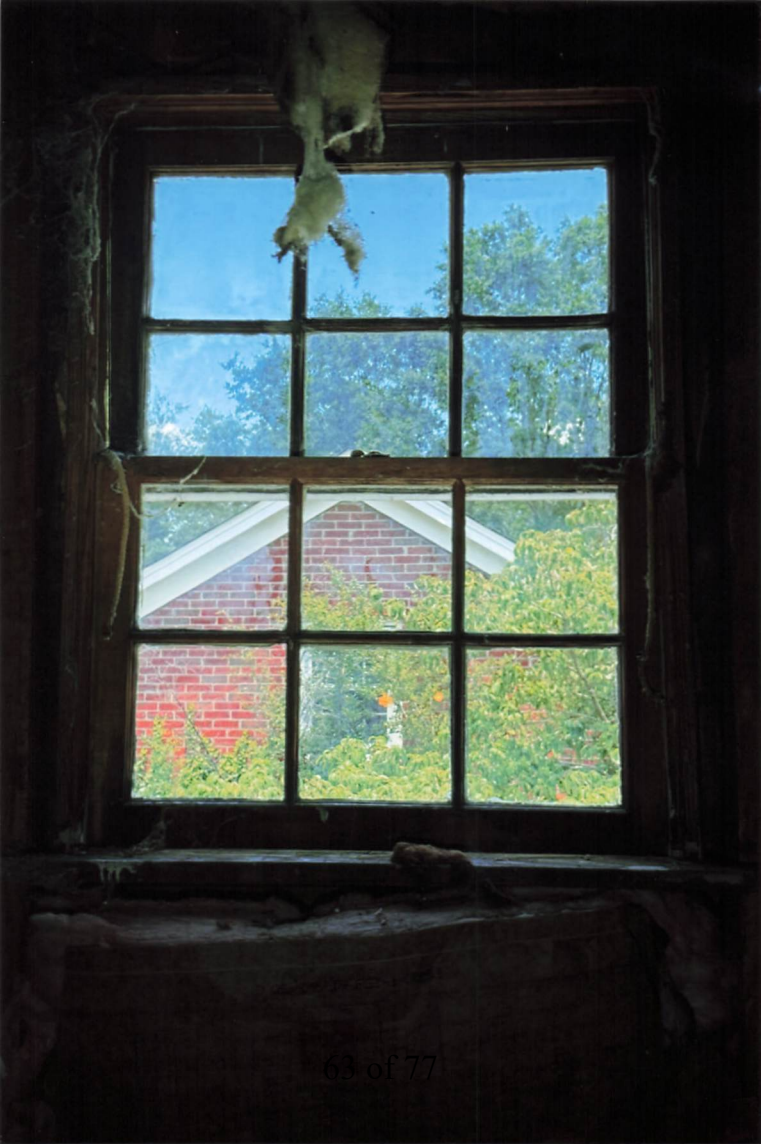
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A photograph of a blue house with a white garage and a pink sign overlay. The house is partially obscured by a large tree with green and yellowing leaves in the foreground. A concrete block wall is visible on the right side of the image. The scene is set in a grassy yard with a dirt path leading towards the garage.

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East Irwin

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East Irwin

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East Irwin

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left = 516
Right = 508
Peronneau



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508 or 510
Hampton Dr.



Corner of
West Hampton
and Hampton Dr

592

East Irwin



607

East Irwin

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