

Agenda

Board of Architectural Design and Historic Review

July 9, 2026 at 5:30 PM

Dr. TK Gregg Community Center

650 Howard St. Spartanburg, SC 29303

- I. **Roll Call**
- II. **Freedom of Information Act Compliance** – Public notification of the meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and requirements of the City of Spartanburg Zoning Ordinance.
- III. **Rules and Procedures for Meeting Conduct**
- IV. **Approval of Agenda**
- V. **Disposition of Minutes of May 14, 2026 meeting**
- VI. **Old Business:** None
- VII. **New Business:**
 - a. **COA-26-00400020:** The Board of Architectural Design and Historic Review has received a request for a Certificate of Appropriateness for a new construction single-family home at 648 S Irwin Ave (Tax Map Sheet: 7-16-06-012.00) in the Hampton Heights Historic District. Owner: Jesse Joiner & Madison Kucensky / Applicant: Michael Henthorn, Henthorn Architecture
- VIII. **Staff Announcements**
- IX. **Adjournment**

Meeting Minutes
Board of Architectural Design and Historic Review
May 14, 2026 at 5:30 PM
Dr. TK Gregg Community Center
650 Howard St. Spartanburg, SC 29303

Attendance

Board Members Present

- Bill Michels, Chair
- Brett Avery, Vice Chair (arrived after roll call)
- Rod McCants
- Julie Gilmore
- Dave Williams (arrived after roll call)
- Brandon Gaffney
- Adib Kapasi
- Kenneth Brown

Staff Present

- Fredalyn Frasier, Planning Director
- Nan Zhou, Planner II
- Dominick Calace, Planner I

Others Present

- William Harris, Representative – 506 Hampton Dr
- Rachel Lerman, Homeowner – 296 S Spring St
- Members of the Public

Call to Order

Chair Michels called the meeting to order at 5:30 PM and conducted roll call. A quorum was established.

The Chair stated that public notice of the meeting had been provided in compliance with the Freedom of Information Act and City of Spartanburg requirements. Meeting procedures were referenced.

Approval of Agenda

On a motion by Mr. Brown and seconded by Mr. Gaffney, the agenda was approved by a vote of 8-0.

Approval of Meeting Minutes (February 12, 2026)

Planning Department

On a motion by Mr. Kapasi and seconded by Mr. Brown, the meeting minutes from February 12, 2026 were approved by a vote of 8–0.

Old Business

None.

New Business

Certificate of Appropriateness for Major Works - 296 South Spring Street - Front Yard Fence

The Board considered a request to install a new fence along the front property line of a contributing residence in the Hampton Heights Historic District.

Staff Presentation

- Staff described the property as a contributing residence constructed in 1919 on the west side of South Spring Street. The applicant requested approval of a three-foot-tall fence intended to improve safety and separation from the street while preserving public views of the home.
- The Hampton Heights Design Guidelines discourage front-yard fences but do not prohibit them or provide detailed design standards. Staff noted existing examples of front-yard fencing along South Spring Street and elsewhere in the district.
- Because the local guidelines provide limited direction, staff also reviewed the City of Rock Hill historic design guidelines, which allow low, open front-yard fences when they do not obstruct the historic building.
- Staff recommended approval, finding that a fence limited to three feet in height and designed to remain simple, open, and complementary to the residence could be harmonious with the historic district.

Applicant Presentation

- The property owner presented historic photographs and examples of low front-yard fences in Hampton Heights and nearby early-twentieth-century neighborhoods. She stated that these examples demonstrated that front-yard fencing was used during the neighborhood's historic period of development.
- The applicant explained that the character of South Spring Street has changed over time due to nearby institutional uses, parking lots, school traffic, and increased vehicle activity. With young children in the household, the proposed fence was intended primarily as a safety barrier rather than for privacy.
- The applicant identified several existing low fences on South Spring Street, West Hampton Avenue, and Hydrick Street and stated that the proposal would not create an unfamiliar or visually disruptive element in the streetscape.
- The proposed fence would be no more than three feet tall, maintain an open design, and leave the driveway outside the enclosed area. The applicant preferred painted or stained wood because it was more affordable and compatible with the residence and confirmed that vinyl was not proposed.

Board Discussion

- Board members discussed the proposed material and height. The applicant confirmed that the fence would be wood rather than vinyl and agreed that three feet was sufficient to provide a physical barrier without creating a privacy fence.
- The Board found that the low height and open design would preserve visibility of the historic residence and would be compatible with other examples in the neighborhood.
- Members acknowledged that front-yard fences have been evaluated differently in prior cases but found that the applicant had demonstrated both a practical safety need and a design that would remain visually subordinate to the house.

Public Comments:

No members of the public spoke. The public comment period was closed on a motion by Mr. Gaffney and seconded by Mr. Williams. The public comment period was closed unanimously.

Board Action

Following deliberation, the Board determined that the project was appropriate and approval would be granted to the Homeowner to proceed with the COA.

Motion

On a motion by Dr. Avery and seconded by Mr. Brown, the Board approved the Certificate of Appropriateness for a front-yard fence with the following conditions: the fence shall not exceed three feet in height; the fence shall be constructed of wood or iron; and vinyl fencing is prohibited.

The motion passed unanimously (8-0).

Certificate of Appropriateness for Major Works - 506 Hampton Drive - Front Porch Handrail

The Board considered a request to install a handrail at the front porch steps of a contributing residence in the Hampton Heights Historic District.

Staff Presentation

- Staff described the property as a contributing residence constructed in 1940. The proposal consisted of a black metal handrail positioned along the center of the front steps and constructed of square tubing with simple vertical balusters.
- The handrail had already been installed to provide immediate assistance to elderly occupants. It was anchored to the porch floor and sidewalk rather than directly to the historic masonry steps.
- The Hampton Heights Design Guidelines do not specifically address new handrails. Staff therefore reviewed the City of Rock Hill historic design guidelines, which allow simple wood or metal handrails when required for safety or access and recommend square balusters and installation methods that avoid damage to historic steps.

Planning Department

- Staff recommended approval, finding that the simple black metal design was visually unobtrusive, compatible with similar handrails in the district, and harmonious with the residence. Final approval remained subject to confirmation of applicable Building Code requirements.

Applicant Presentation

- The fabricator explained that the residents requested the handrail because one of the occupants was recovering from surgery and needed immediate assistance using the front steps.
- The handrail was described as a simple, flat-black square-tube design bolted to the porch framing and sidewalk. It was not connected to the steps and could be removed in the future without significant damage to the historic materials.

Public Comments

- Marco Lakey, a nearby resident, spoke in support of the request. He stated that the handrail would improve safety and accessibility, was removable, and would help longtime residents remain in their home. No one spoke in opposition.
- On a motion by Mr. Kapasi and seconded by Mr. Brown, the public comment period was closed.

Board Deliberation and Staff Comments

- Board members noted that similar handrails had previously been approved for safety and accessibility and that many historic porches do not provide a usable support along the full length of the steps.
- Members supported the simple black metal design because it was tasteful, minimally invasive, and clearly distinguishable as a later safety improvement rather than an original architectural feature.
- The Board discussed whether future handrails meeting similar standards could be processed as Minor Work or addressed through a standard policy, recognizing that accessibility requests are likely to become more common.

Motion

On a motion by Mr. Williams and seconded by Mr. Brown, the Board approved the Certificate of Appropriateness for the handrail as presented.

The motion passed unanimously (8-0).

Staff Announcements

- Staff was coordinating with the Appalachian Council of Governments regarding continuing-education training and will follow up with members on individual requirements.

Planning Department

- Summonses were issued in May for roof openings covered by tarps at 161 South Hampton Drive and 137 West Hampton Avenue. Staff will continue coordinating with Code Enforcement.
- The owner of the fire-damaged residence at 234 South Spring Street was working with the Building Department and a contractor on rehabilitation options.
- A stop-work order was issued for an unapproved front-yard fence at 710 Maywood Street. Staff will coordinate with Code Enforcement regarding removal or a Board application.
- Staff was coordinating with Code Enforcement regarding unapproved vinyl windows at 201 Carlisle Street and a possible Board application.
- The Board discussed concerns about deteriorating temporary roof tarps and the need to complete permanent repairs before the coverings fail.
- Jenn Cresap was introduced as the Planning Department's new Senior Administrative Assistant and will assist with Board coordination.

Adjournment

On a motion by Mr. Kapasi and seconded by Mr. Brown, the meeting was adjourned unanimously.

Meeting adjourned at 6:03 P.M.

William Michels, Chair

July 2, 2026

TO: The Board of Architectural Design and Historic Review

RE: Certificate of Appropriateness for Major Works

Address: 648 S Irwin Ave (TMS: 7-16-06-012.00)

Historic District: Hampton Heights Historic District

Zoning: R-8 SFD (Single Family Residential District)

Owner: Jesse Joiner & Madison Kucensky

Applicant: Michael Henthorn, Henthorn Architecture

Request: The Applicant is seeking approval to construct a new 2,880 square foot single-family home on a vacant property in the Hampton Heights Historic District.

Project Description and History

The project site is located on an approximately 25,000-square-foot lot on the west side of South Irwin Avenue within the Hampton Heights Historic District. The property is currently vacant and heavily wooded.

The applicant requests approval to construct a new 2,880-square-foot single-family residence on the subject property. The proposed one-and-one-half-story Craftsman-style home measures approximately 32 feet in width by 50 feet in length and includes a 14-foot by 45-foot screened porch along the south elevation. The design features two symmetrical dormers projecting from the roofline, one on each side of the structure. The proposed roof ridge height is approximately 29 feet.

The residence is proposed to be constructed on a brick foundation. A full-width front porch extends across the primary façade and is supported by three brick piers with fiberglass columns. The porch flooring is proposed to consist of painted tongue-and-groove wood decking.

Exterior wall materials include LP SmartSide lap siding, an engineered wood siding product, with cedar shake siding proposed as an accent material. The front elevation incorporates Craftsman-style architectural details, including decorative gable treatment and rake brackets. The roof is proposed to consist of architectural shingles with standing-seam metal roofing accents over the projecting bay on the south elevation.

The proposed windows are Marvin aluminum-clad wood casement units with simulated divided lites in a Craftsman-style three-over-one configuration, consistent with the submitted architectural drawings. The primary entrance door is proposed to be a stained mahogany

Planning Department

Craftsman-style door. The screened porch is designed with a wood-framed screen system that is visually compatible with the casement windows used throughout the residence.

A split-strip driveway is proposed along the side of the residence, providing access to a concrete parking pad located at the rear of the property. The submitted site plan also identifies the location of a potential future detached garage; however, construction of the garage is not included within the scope of the current application.

Analysis

Zoning Ordinance and Historic Design Manual Consistency

The design guidelines are outlined in the Hampton Heights Design Guidelines for the City of Spartanburg Historic District Preservation Principles and Approaches. The purpose of the guidelines is to provide property owners with guidance for the preservation and protection of historic and architecturally valuable districts and sites in the City.

The project is also subject to Section 510 of the City's Zoning Ordinance, Historic Preservation. This section allows the Board to review applications involving historic structures and districts and issue a Certificate of Appropriateness subject to the standards listed in the Ordinance.

Section 510.6 of the City of Spartanburg Zoning Ordinance lists standards for reviewing a Certificate of Appropriateness. Specifically, Section 510.6 (C)(2) states that in reviewing applications for new construction or alteration, the Board shall consider the U.S. Secretary of the Interior's Standards for Rehabilitation and the five criteria listed in the findings.

Section 6.0 New Construction Guidelines

6.2 Recognizing the Prevailing Character of Existing Development

- *Identify and respect the prevailing character of adjacent historic buildings and surrounding developments.*

The surrounding homes near the proposed development are predominantly bungalows, including front-gabled and hipped bungalows. The property immediately across the street is a multi-family quadplex. The proposed residence incorporates defining features of the Craftsman Bungalow style, including prominent porch columns, a full-width front porch, decorative gable detailing, and an appropriate roof form. The scale and design of the structure are consistent with other Craftsman-style homes within the district.

6.2.1 Building Setback and Orientation:

- *The orientation of a new building and its site placement shall appear to be consistent with dominant patterns within the area of influence, if such patterns are apparent.*

The submitted site plan indicates that the front porch will front South Irwin Avenue and will be located approximately 22 feet from the front property line. This setback is generally consistent with the established front setbacks of adjacent properties along South Irwin Avenue.

6.2.2 Directional Emphasis:

- *A new building's directional emphasis shall be consistent with dominant patterns of directional emphasis within the area of influence, if such patterns are present.*

The structure will exhibit horizontal directional emphasis and face South Irwin Street, which is consistent with other structures on the street.

6.2.3 Shape:

- *Roof Pitch: The roof pitch of a new building shall be consistent with those of existing buildings within the area of influence, if dominant patterns are apparent.*

The proposed structure includes a 10:12 roof pitch on the main roof and 3:12 roof pitches on the dormers. The roof form and pitch are consistent with Craftsman Bungalow-style homes in the district.

- *Porch Form: The shape and size of a new porch shall be consistent with those of existing historic buildings within the area of influence, if dominant patterns are apparent.*

The proposed front porch spans the full 32-foot width of the front façade and extends approximately 8.5 feet from the house. The porch is supported by brick piers with painted fiberglass columns above. The size, form, and detailing of the porch are consistent with Craftsman-style front porches found in the Historic District.

- *Building Elements: The principal elements and shapes used on the front façade of a new building shall be compatible with those of existing buildings in the area of influence, if dominant patterns are apparent.*

The principal elements and shapes, including the design of window and door openings, are consistent with adjacent structures and other Craftsman style homes in the historic district.

6.2.4: Massing:

- *The massing of a new building shall be consistent with dominant massing patterns of existing buildings in the area of influence, if such patterns are apparent.*

The proposed structure is 1.5 stories. The ridge height of the proposed building is approximately 29 feet. The design also includes symmetrical dormers on each side of the structure. Adjacent homes on the street range in height from 1 to 2 stories. The scale and form of the structure are appropriate for the surrounding neighborhood.

6.2.5: Proportion:

- *The proportions of a new building shall be consistent with dominant patterns of existing buildings in the area of influence, if such patterns are apparent.*

The proposed structure's proportions, including the height and width of windows and doors, are consistent with adjacent structures and other bungalows throughout the Historic District.

6.2.6 Rhythm:

- *New construction in a historic area shall respect and not disrupt existing rhythmic patterns in the area of influence, if such patterns are present.*

The proposed structure respects the established rhythm of development along South Irwin Avenue. This includes the massing, setbacks, and design of porches. The project is located on a vacant lot and will not disrupt the existing rhythm of historic structures along the street.

6.2.7 Scale/Height:

- *New construction in historic areas shall be consistent with dominant patterns of scale with the area of influence, if such patterns are present.*

The proposed structure is a one-and-a-half-story Craftsman-style home with an approximate roof ridge height of 29 feet. The height and scale are compatible with surrounding residential structures, which range from one to two stories.

Findings

Certificate of Appropriateness, Section 510.6 (C)

a. The character and appropriateness of the design

The proposed structure is appropriate in character and design for the Hampton Heights Historic District. The home is designed in a Craftsman style and incorporates architectural elements commonly found within the district, including a full-width front porch, prominent porch columns, a brick foundation, decorative gable detailing, rake brackets, dormers, and Craftsman-style window patterns.

b. The scale of the buildings

The proposed home is one-and-a-half stories with an approximate roof ridge height of 29 feet. The overall height, massing, and shape are compatible with the surrounding residential context, where homes generally range from one to two stories.

c. The texture and materials

The proposed materials include a brick foundation, LP SmartSide lap siding (6-inch exposure, smooth finish), cedar wood shake siding accents, architectural shingles, metal roof accents, aluminum-clad windows, a stained mahogany Craftsman-style front door, and painted wood tongue-and-groove porch decking. These materials provide a combination of traditional residential textures and compatible modern building materials.

The brick foundation, wood porch decking, cedar shake siding, and aluminum-clad windows support the historic residential character of the design. The use of engineered wood lap siding is generally compatible with new construction when installed with an appropriate exposure, smooth finish, and traditional corner detailing, all of which are present in the design.

d. The relationship of such elements to similar features of structures in the immediate surroundings –

The proposed building elements are similar to features found on surrounding historic residential structures. The front-facing orientation, full-width porch, brick foundation, Craftsman-style columns, roof form, dormers, window pattern, and decorative detailing are consistent with features found on nearby bungalows and Craftsman-style homes in the district.

e. If the property is in a Historic District, the extent to which the alteration or construction would be harmonious with the Historic District –

The proposed new construction would be harmonious with the Hampton Heights Historic District. The project is located on a vacant lot and would introduce a new single-family residence that respects the residential character of the area. The proposed setback, orientation, scale, porch form, roof shape, window pattern, and exterior detailing are compatible with the surrounding historic context. Based on the submitted plans and staff's review of the applicable design guidelines, the proposed construction is consistent with the character of the district and would not adversely affect the historic integrity of the surrounding area.

Staff Comments

Staff worked with the applicant throughout the design process and provided feedback regarding the proposed architectural design, building materials, and exterior detailing.

Staff Recommendation - Approval

Based on the findings above, staff recommend approval of the proposed structure.

Prepared by:

Dominick Calace

Dominick Calace

Planner I

City of Spartanburg Planning Department

Reviewed by: *FMF*

Fredalyn M. Frasier

Planning Director

Attachments:

Conditions of Approval

Site Map & Zoning Map

Site Photos

Application and Materials

**CONDITIONS OF APPROVAL FOR THE PROJECT ON PROPERTY AT:
648 S Irwin Ave (TMS: 7-16-06-012.00) – Hampton Heights Historic District**

Owner: Jesse Joiner & Madison Kucensky

Applicant: Michael Henthorn, Henthorn Architecture

1. If one or more of the following conditions is not met with respect to all its terms, then this approval may be revoked.
2. All plans for future construction which are not covered by this review shall be submitted to the City Planning Department for review and approval.
3. Major modifications to plans or exceptions to completion may be granted only by the City authority which approved the project.
4. This permit shall be exercised within **six months of the date of final approval**, or it shall become null and void. Extensions may be granted with the permission of the Board.
5. A building permit shall be obtained from the Building Department prior to commencement of work.
6. The development of the site shall be in substantial accordance with the approved plans submitted and on file in the Spartanburg City Planning Department. Major modifications to plans or exceptions to completion may be granted only by the City authority which approved the project.

Subject Property – 648 S Irwin Ave



Adjacent Property – 644 S Irwin Ave



Properties Across the Street – 641 S Irwin Ave & 643 S Irwin Ave





SCHEMATIC DESIGN
JOINER-KUCENSKY RESIDENCE

648 S. IRWIN AVE

SPARTANBURG, SOUTH CAROLINA

DRAWING INDEX

- A1 COVER SHEET
- A2 LOCATION AND SURVEY
- A3 SITE PLAN
- A4 RENDERING
- A5 FRONT LEFT VIEW
- A6 FRONT RIGHT VIEW
- A7 REAR LEFT VIEW
- A8 REAR RIGHT VIEW
- A9 FIRST FLOOR PLAN
- A10 2ND FLOOR PLAN
- A11 FRONT ELEVATION
- A12 RIGHT ELEVATION
- A13 REAR ELEVATION
- A14 LEFT ELEVATION

SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
6-9-2026		HARB REVIEW

DWN. BY
MDH

CHK. BY
MDH

DATE 5/12/26

TITLE
COVER SHEET

SHEET

A1



SITE



SITE



VIEW DOWN HILL



VIEW UP HILL

SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
6-9-2026		HARB REVIEW

DWN. BY
MDH

CHK. BY
MDH

DATE
5/12/26

TITLE
VICINITY MAP
SURVEY

SHEET

A3



ADJACENT HOUSE



STREET NEIGHBORS



NEIGHBORHOOD PRECEDENT



SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
6-9-2026		HARB REVIEW

DWN. BY
MDH

CHK. BY
MDH

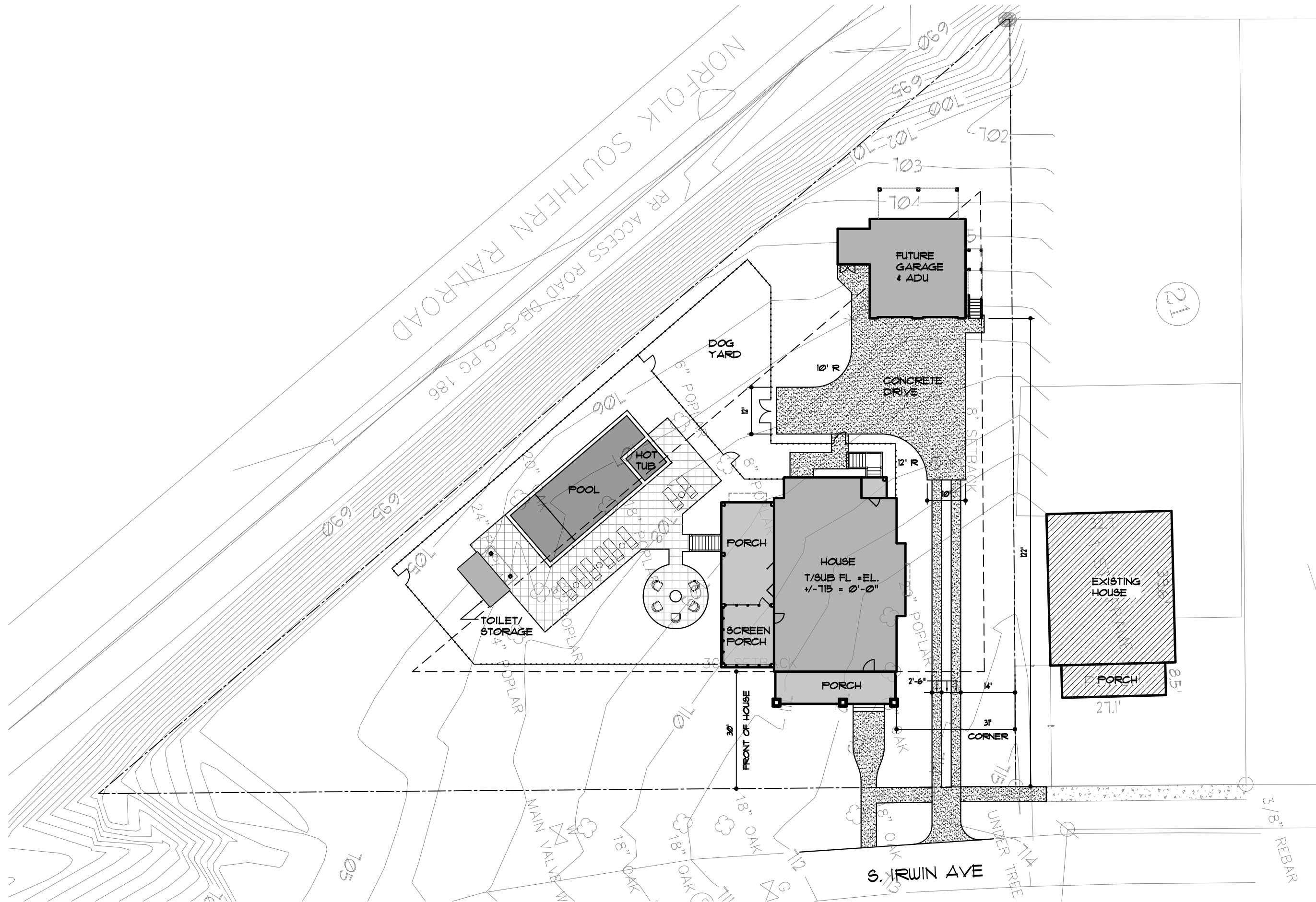
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TITLE
VICINITY MAP
SURVEY

SHEET

A4

SITE PLAN



SEAL:

Kucensky-Joiner Residence
648 S. Irwin Ave
Spartanburg, South Carolina

REV.	DATE	REMARKS
6-9-2026		HARB REVIEW

DWN. BY MDH

CHK. BY MDH

DATE 5/12/26

TITLE SITE PLAN

SHEET

A5



VIEW FROM STREET

SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
6-9-2026		HARB REVIEW

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MDH

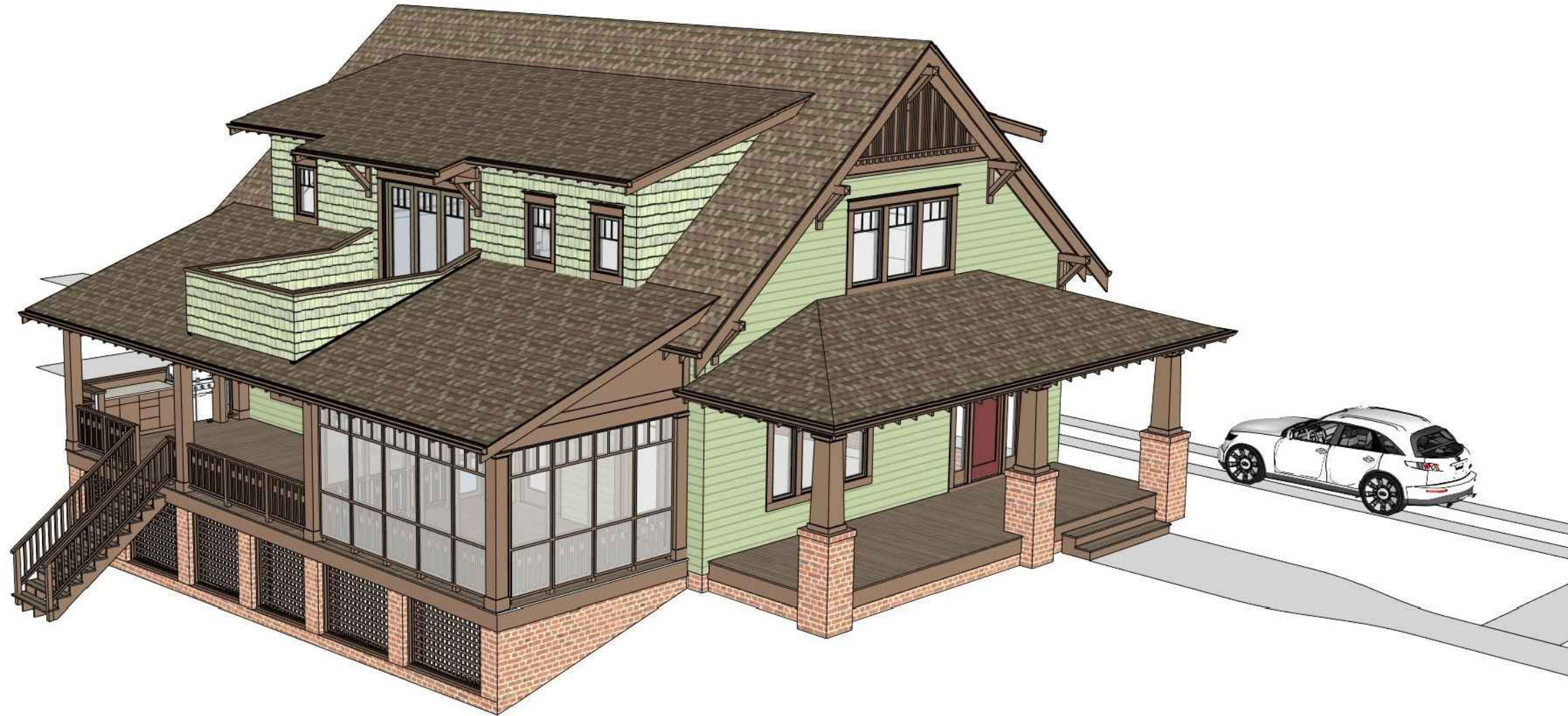
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DATE
5/12/26

TITLE
RENDERING

SHEET

A6



VIEW FROM FRONT LEFT

SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
6-9-2026		HARB REVIEW
DWN. BY MDH		
CHK. BY MDH		
DATE 5/12/26		
TITLE FRONT LEFT		
SHEET A7		



VIEW FROM FRONT RIGHT

SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
1	6-9-2026	HARB REVIEW

DWN. BY
MDH

CHK. BY
MDH

DATE 5/12/26

TITLE
FRONT RIGHT

SHEET

A8



VIEW FROM REAR LEFT

SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
1	6-9-2026	HARB REVIEW

DWN. BY
MDH

CHK. BY
MDH

DATE
5/12/26

TITLE
REAR LEFT

SHEET

A9



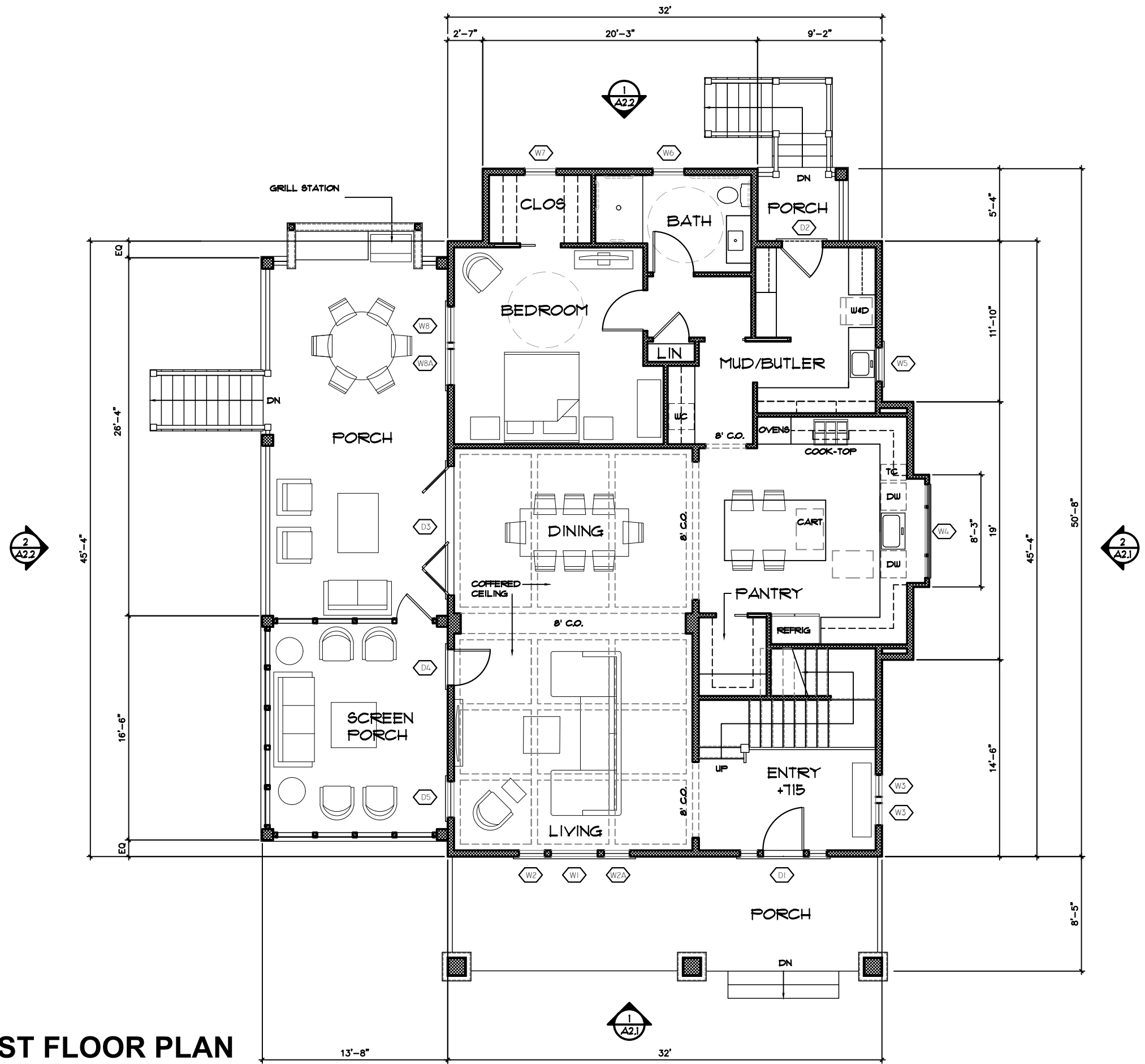
VIEW FROM REAR RIGHT

SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
6-9-2026		HARB REVIEW
DWN. BY MDH		
CHK. BY MDH		
DATE 5/12/26		
TITLE REARRIGHT		
SHEET A10		

FIRST FLOOR PLAN



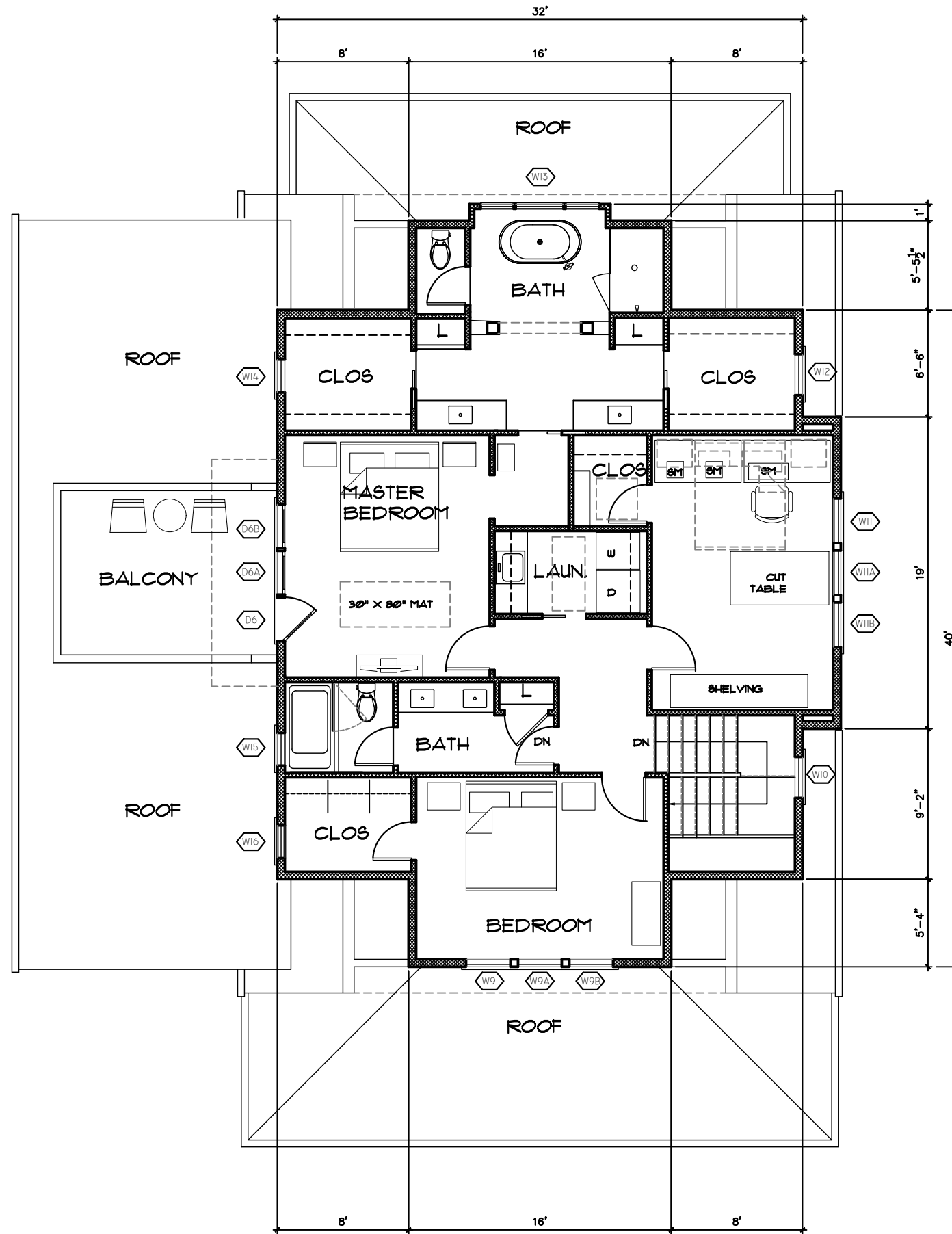
SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
6-9-2026	HARB REVIEW	

DWN. BY MDH
 CHK. BY MDH
 DATE 5/12/26
 TITLE 1ST FLOOR PLAN
 SHEET A11

2ND FLOOR PLAN



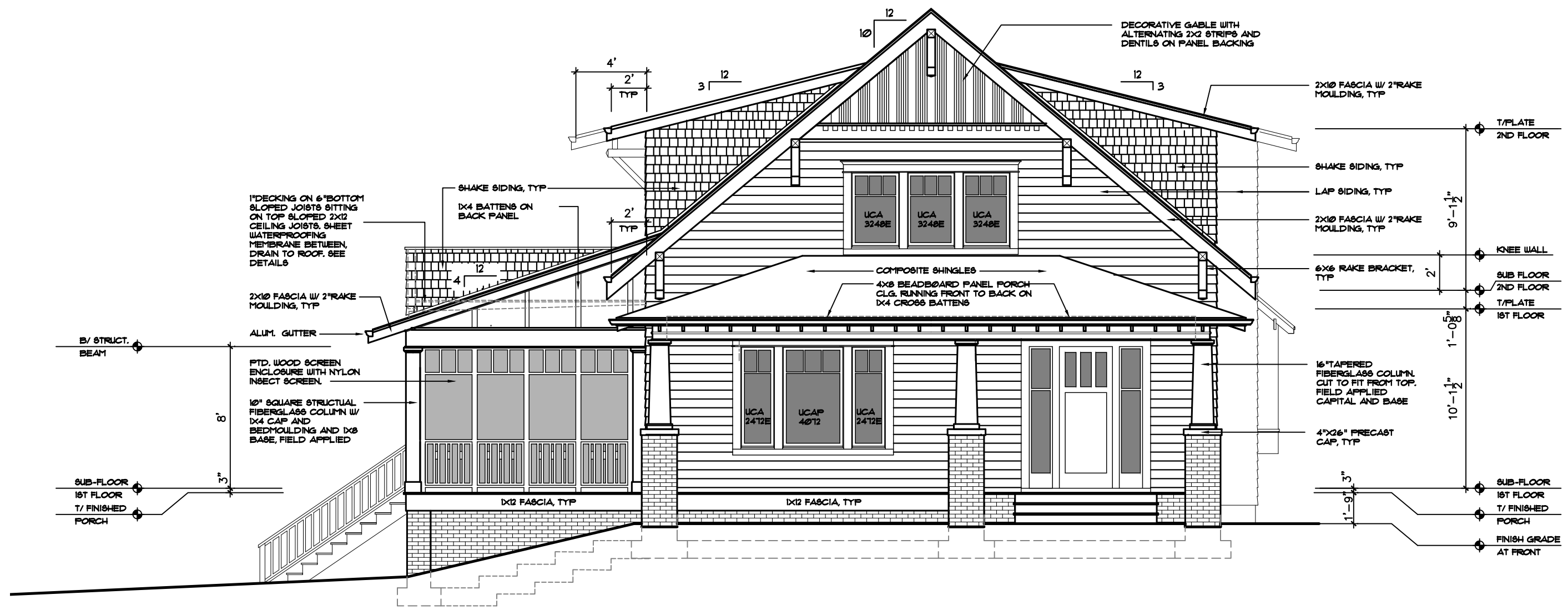
SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
6-9-2026	HARB REVIEW	
DWN. BY MDH		
CHK. BY MDH		
DATE 5/12/26		
TITLE 2ND FLOOR PLAN		
SHEET A12		

SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina



FRONT ELEVATION

REV.	DATE	REMARKS
6-9-2026		HARB REVIEW

DWN. BY
MDH

CHK. BY
MDH

DATE
5/12/26

TITLE
FRONT ELEVATION

SHEET
A13

SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
6-9-2026		HARB REVIEW

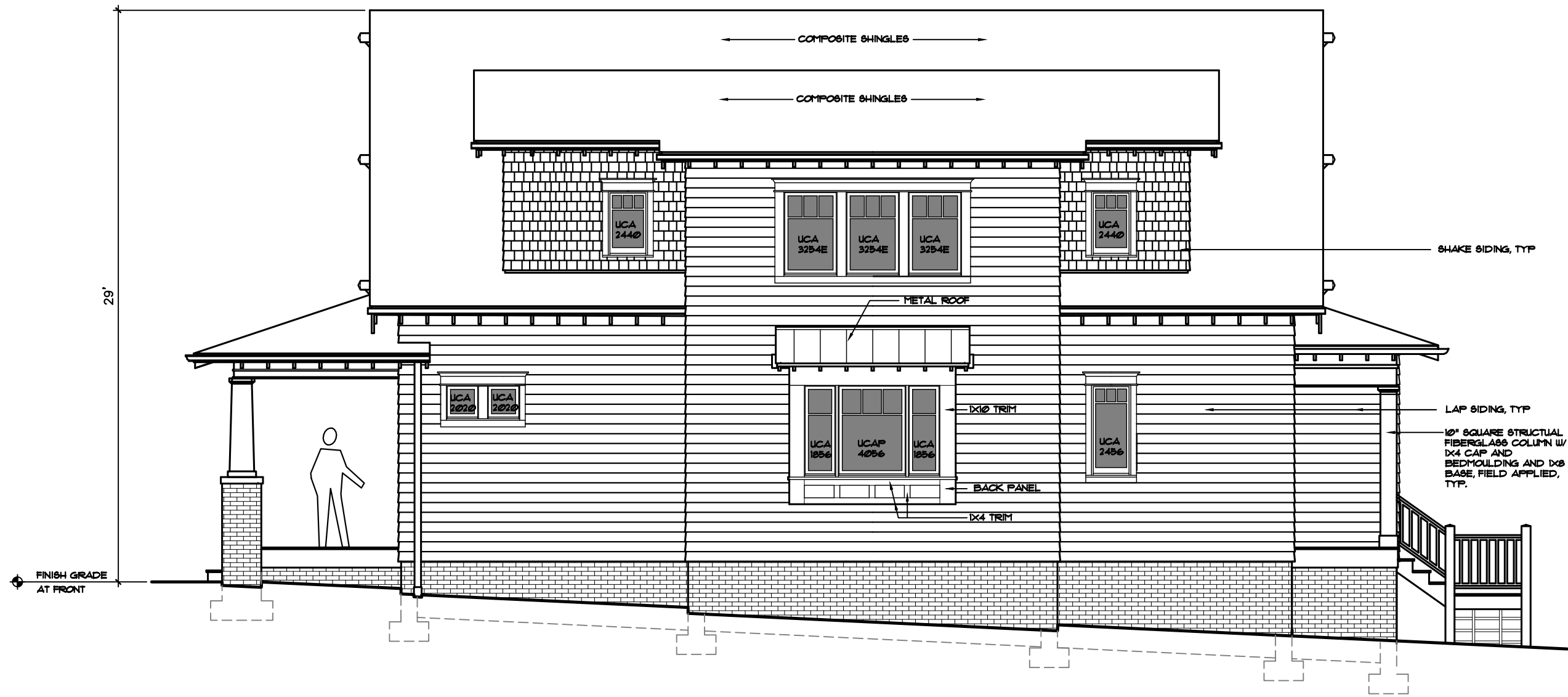
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DATE
5/12/26

TITLE
LEFT ELEVATION

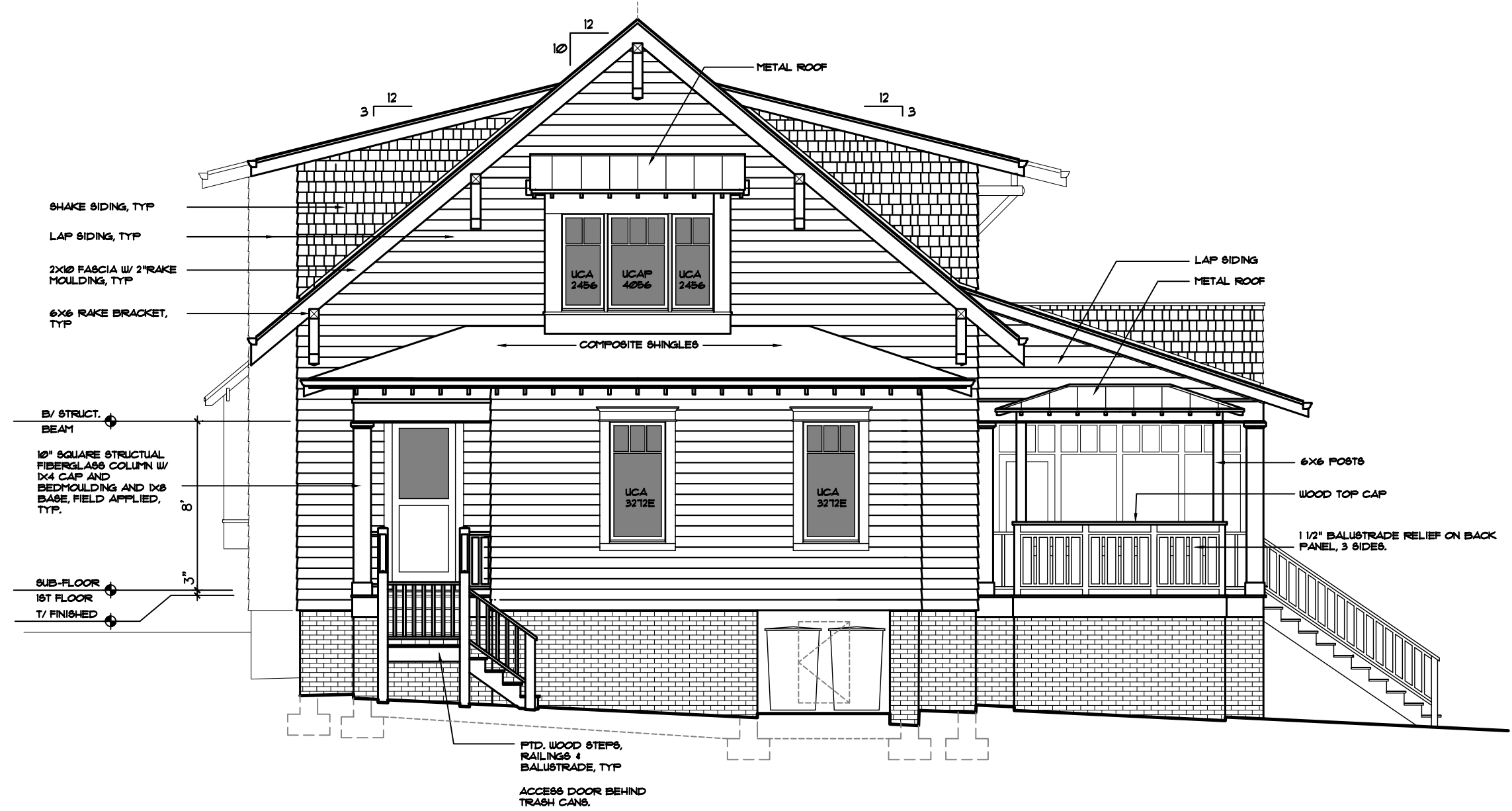
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A14



LEFT ELEVATION

SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina



REAR ELEVATION

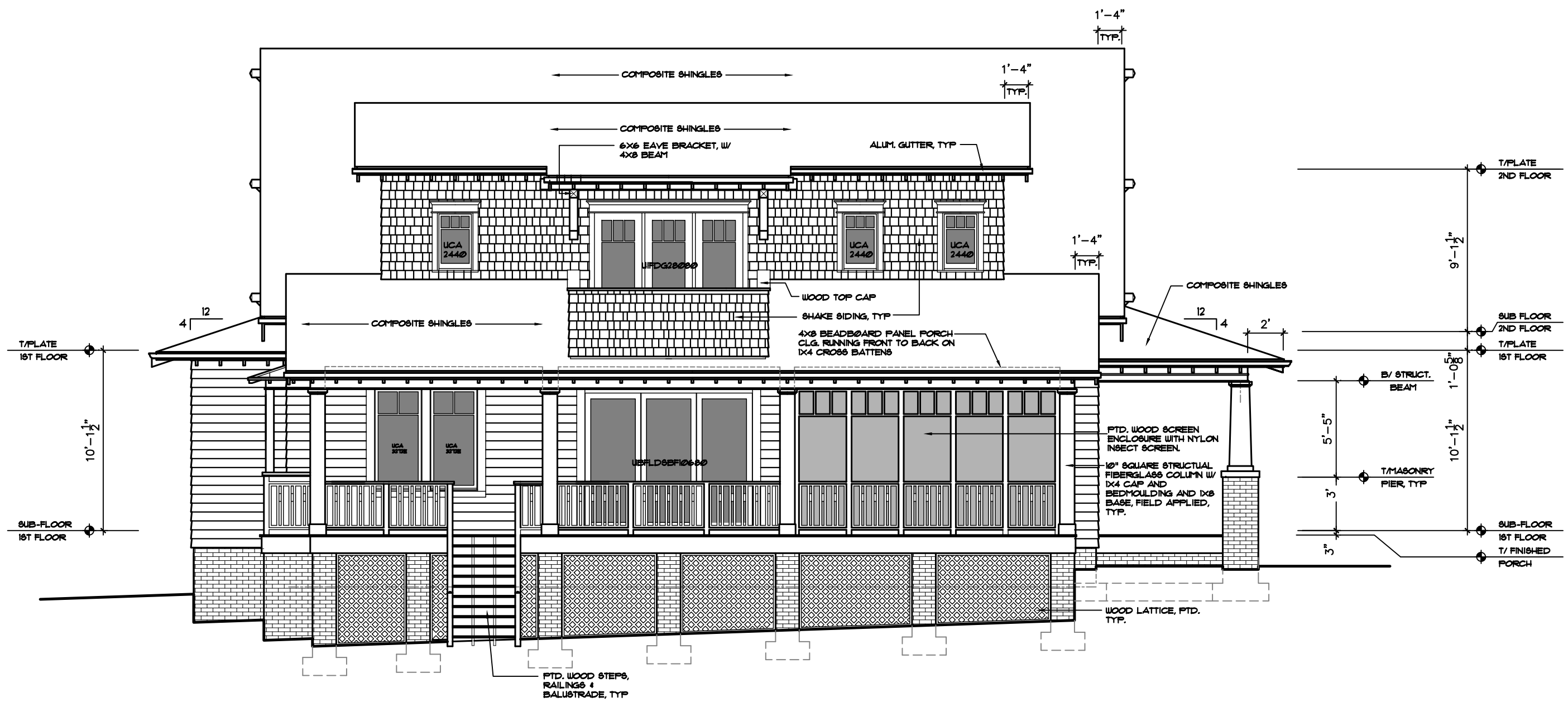
REV.	DATE	REMARKS
6-9-2026	HARB REVIEW	
DWN. BY	MDH	
CHK. BY	MDH	
DATE	5/12/26	
TITLE	REAR ELEVATION	
SHEET	A15	

SEAL:

Kucensky-Joiner Residence
 648 S. Irwin Ave
 Spartanburg, South Carolina

REV.	DATE	REMARKS
6-9-2026		HARB REVIEW

DWN. BY	MDH
CHK. BY	MDH
DATE	5/12/26
TITLE	LEFT ELEVATION
SHEET	A17



LEFT ELEVATION

Foundation Brick

Base: Mfg: Triangle Brick. Mary oaks NC
Pattern: Oxford Modular. # 1380. Natural mortar
Alt. : Mfg: Statesville Brick Co. Statesville NC
Pattern: Old Plantation Red Modular

Lap Siding:

Mfg.: LP Smartside by Louisiana Pacific Corporation. 38 Series Smooth Finish Lap, primed for paint, 7.84" width x .354 " thick with 6" exposure. Exterior corners to be woven. Painted finish to be field applied.
Color: TBD

Shake Siding:

Mfg.: Prefabricated red cedar shingle panels by Cedar Valley Manufacturing, Hollister California. 7 1/8" even butt line, open keyway standard thickness with 90 deg. flush-mounting corner units.
Color: TBD

Exterior Trim:

Mfg: LP Smartside. By Louisiana Pacific Corporation. 440 or 540 Series smooth finish trim, primed for paint. Size and series per drawings.
Color: TBD

Shingle Roofing:

Mfg.: Certainteed Landmark Pro Series, 30 Yr Architectural shingles
Color: Weathered wood

Metal Roofing:

Mfg: JD Metals of Piney Flats Tn. or equal. 26 ga. Steel Nail Strip, 12" width panels, 1½" high seams with flat panel profile. PVDF finish
Color: TBD

Windows:

Mfg: Marvin Windows and Doors of Warroad Minnesota. Ultimate Series Casement and Picture Windows. Aluminum Clad exterior/ wood interior. Glazing: 11/16" clear, low E2 w/ Argon insulated glass units. 7/8" Simulated Divided Lights with spacer bar. Pattern per drawings
Color:TBD

Exterior Doors:

Front door:

Mfg: Simpson Door Company of McCleary, WA or equal. Craftsman series door and Side lights. Door: 3' w x 8'high, model # 36863. Sidelight model 6171. Clear glass inserts in door and sidelights. Stained Mahogany
Color: TBD

Rear Door:

Mfg. TBD. 3080 Textured fiberglass with insulated glass insert.
Color: TBD

Other doors:

Mfg: Marvin Ultimate series inswing French or bi-fold doors. Aluminum clad exterior, wood interior. Size and series per drawings. 7/8" simulated divided lights per drawings.

Color: To match windows

Porch Columns:

Mfg: HB&G of Troy Alabama. Permacast load bearing fiberglass columns, painted.

Front porch columns: Tapered Craftsman 16" x 12" x 6'. Cut to length. Capital to be field applied 5/4" x 3 1/2" trim material with 1 3/4" PVC bed molding. Base to be field applied 5/4" x 7 1/4" trim material with 3/4" PVC cove molding.

Side and rear porch columns: Square, non- tapered 10" x 9'. Capital to be field applied 5/4" x 3 1/2" Trim material with 1 3/4" PVC bed molding. Base to be field applied 5/4" x 7 1/4" trim material with 3/4" PVC cove molding.

Color: TBD

Porch Decking:

Mfg: YellaWood (Great Southern Wood Preserving, Incorporated) of Abbeville, Alabama. Or equal. 5/4" x 3 1/2" Tongue and groove Kiln dried after treatment, pressure treated southern yellow pine. Painted.

Color: TBD

Porch ceiling:

Mfg: TBD. 1x6 clear southern pine bead board. 1 3/4" pvc bed molding. painted

Color: TBD

Porch steps:

Mfg. TBD. Structure: KDAT Pressure treated yellow pine. Primed and painted
Treads: 5/4 x 6 Kiln dried after treatment, pressure treated Southern pine
Decking. Finished to match porch decking.

Railings:

Mfg: TBD. Western red cedar or Douglas fir, to be primed and painted. (Note: railings not required on front porch as height is less than 30" (IRC R312.11)

Color: TBD

Gutters

Mfg.: TBD 5" .027 ga Aluminum K-Style seamless gutters and downspouts.

Color: To match trim color

LAP SIDING

LP® SmartSide® Lap Siding

LAP THAT HOLDS UP AND STANDS OUT

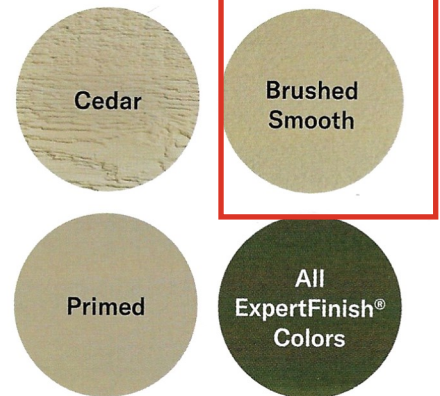
- One of the most durable lap options on the market
- Available in a variety of widths and thicknesses
- All lap products are now available in standard 16' length, helping reduce waste and speed installation
- 16' length may result in fewer seams than traditional 12' lap, providing a more polished aesthetic
- Complements other materials, such as brick, stone, and stucco
- APA-certified

Cedar Texture

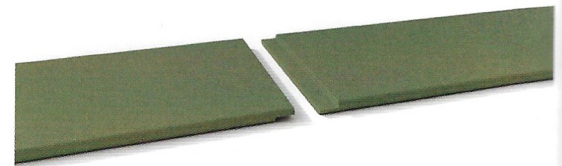


LP® Smartside® ExpertFinish® Cedar Texture Lap in Garden Sage and Trim in Abyss Black

Options

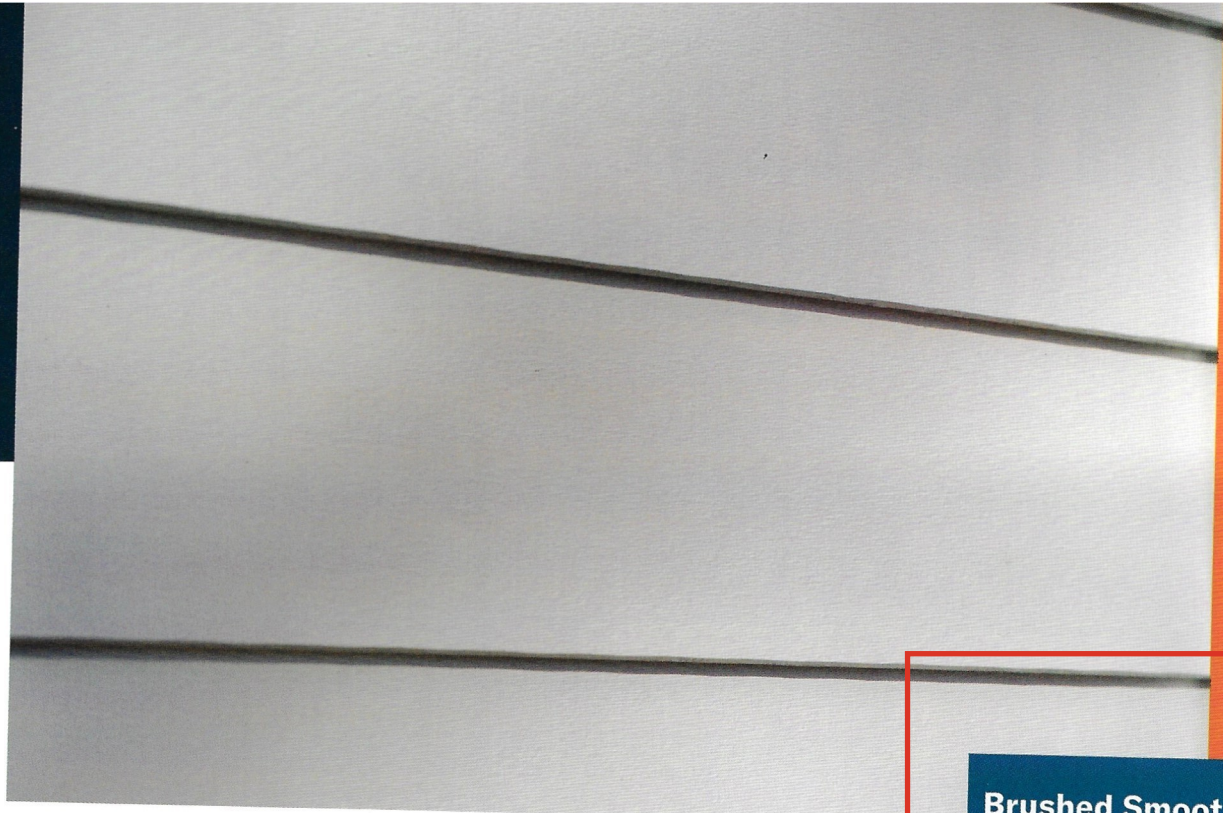


Options vary by product; see Specifications section for details



LP® Smartside® ExpertFinish® Brushed Smooth Lap Joint Siding in Garden Sage

LP® SmartSide® ExpertFinish® lap joint siding features a proprietary joint designed to help speed installation by eliminating the need for caulk, joint molds, or pan flashing at butt joints.



Brushed Smooth

LP® Smartside® ExpertFinish® Brushed Smooth Lap in Snowscape White



LP® Smartside® ExpertFinish® Cedar Texture Lap and Trim in Cavern Steel



LP® Smartside® Cedar Texture Lap and Trim in custom colors



LP® SmartSide® ExpertFinish® Brushed Smooth Lap, Panel, and Trim in Abyss Black

LP® SMARTSIDE® LAP SIDING

BRUSHED SMOOTH TEXTURE

Spec Sheet

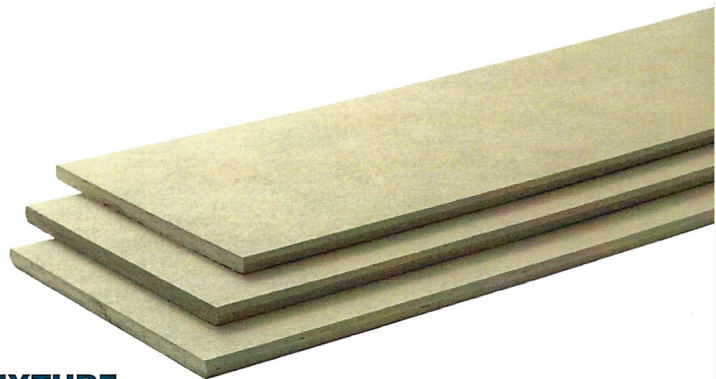
38 Series Lap
Primed: 6" | 8" | 12"
Prefinished: 6" | 8"

PRODUCTS

- LP® SmartSide® 38 Series Lap Siding
- LP® SmartSide® ExpertFinish® 38 Series Lap Joint Siding

DESIGNED & RATED FOR EXTERIOR USE

May be attached directly to studs; see application instructions for fastening and installation requirements



SUBSTRATE

- Features engineered wood strand technology with precisely-sized, shaped, and layered wood strands from aspen logs
- Made using LP's proprietary SmartGuard® process, which includes industrial-grade resins, water-resistant waxes, zinc borate, and a resin-saturated overlay



TEXTURE

Brushed Smooth (also available in Cedar)

FINISH

Available primed and in ExpertFinish® color

WARRANTY

Primed: 5/50 Year Prorated Limited Warranty

Prefinished: 5/15/50 Year Prorated Limited Warranty



SUSTAINABILITY INFO

- ASTM Certified Carbon Negative
- Made with wood, a renewable resource, grown and gathered under strict Sustainable Forestry Initiative® (SFI) standards



INSTALLATION INSTRUCTIONS:

<https://lpcorp.com/products/siding-trim/build-with-lp-smartside/installation-instructions>

PRIMED SPECIFICATIONS AND PIDs:

EXPOSURE = 6"



PRODUCT	LENGTH	ACTUAL WIDTH	THICKNESS	WEIGHT	PID
38 Series Lap	16 ft. (192 in.)(4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	1.5 PSF	45989
	16 ft. (192 in.)(4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	1.5 PSF	45990
	16 ft. (192 in.)(4.9 m)	11.84 in. (301 mm)	0.354 in. (9 mm)	1.5 PSF	45991

See LPCorp.com for product, warranty, and installation details. Metric units are rounded. PSF = Pounds Per Square Foot

1 Course Overview



Cedar Valley products are perfect for Distinctive homes and upscale commercial projects

Easy-To-Install Panel Saves Time.

The patented Cedar Valley panel system installs easier and faster than most other siding products – on average four times faster than individual shingles. There's no starter course, the end joints don't require caulking and only minimal fasteners are needed per panel. Plus, the panel provides a seamless appearance with a blind nailing application.

Lower Installation Costs.

The installed cost of Cedar Valley is typically lower than that of individual shingles because you can get more done with less labor and you don't need to hire a specialized crew. A siding crew can usually install 12+ squares a day of Cedar Valley compared to only three squares a day of hand applied shingles.

A Versatile, Integrated System.

The Cedar Valley panel system of panels, corners, column wraps, specialty products and more offers builders a wide range of options to provide a fully integrated siding system. The accessory line for the 1 Course panel is more extensive and allows more flexibility in design.

Color And Factory-Finished Choices.

Cedar Valley products are available in a wide range of color and factory-finished options. Factory-finished products come in a rainbow of colors and provide extended warranties up to 35 years.

A Reputation Worthy Of Your Own.

A family owned business, Cedar Valley has been a leader in the shingle panel industry for more than 38 years. We've built our reputation on an ongoing commitment to quality, innovation and customer service.

There's No Substitute For Western Red Cedar.

Cedar Valley products are made from 100 percent kiln dried Western Red Cedar for a distinctive, upscale look. Synthetic siding can't come close to the appearance and performance of cedar. Beautiful, durable and low maintenance, cedar is the perfect compliment to any design style.

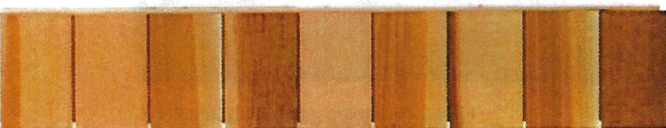
1-Course 7-1/8" Even Buttline Panel



1-Course 7-1/8" Staggered Buttline Panel



1-Course 7-1/8" Even Buttline Keyway Panel



Panels are available in Even Buttline, Staggered Buttline and Open Keyway shingle patterns. Specialized and Custom Exposures Panels are also available.

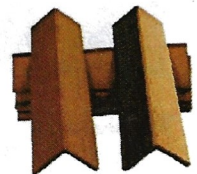
Standard Corners:



1-Course Flush 90° Corner



1-Course Flush 135° Corner



Add-On Corner

Custom Corners, Column Wraps and Flares:



Combed Flush 90



3-Piece Radius Flare Corner Set



Column Wrap



CEDAR VALLEY
Handcrafted Shingle Panels

CVPS-102 Rev. 5/22

Cedar Valley

Handcrafted Shingle Panels

Standard 1 Course 7 1/8" Exposure Even Buttline Panel

1 courses at 7 1/8" exposure

21 panels cover 100 square feet



Actual size
8.5" X 96"

Job Lot Price \$	Panels per unit	
	315	

1 Course 7 1/8" Exposure Staggered Buttline Panel

1 course at 7 1/8" exposure

21 panels cover 100 square feet



Actual size
8.5" X 96"

Job Lot Price \$	Panels per unit	
	315	

7 1/8" Flush Mount Corners

Both Available in 90 degree and 135 degree



90 degree \$	Lineal Feet/Bundle	135 Degree \$	Lineal Feet/Bundle
	4.75 L.F.		4.75 L.F.

****All corner bundles contain 8 Pieces**

1 Course Open Keyway Even Buttline Panel

1 course at 7 1/8" exposure

21 panels cover 100 square feet



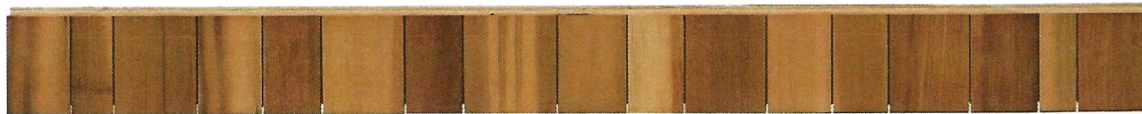
Actual size
8.5" X 96"

Job Lot Price \$	Panels per unit	
	315	

1 Course Mixed Grain 1/2" Thick Even Buttline Keyway Panel

1 course at 7.1" exposure with 1/2" thickbutt shingle

21 panels cover 100 square feet



Actual size
8.5" X 96"

Job Lot Price \$	Panels per unit	Matching Corner \$	Comparison of 1/2" thickbutt to regular
	315	/ bundle	



Must be factory finished! See color chart for options.

Prices subject
to change
without notice!

943 San Felipe Road
Hollister, Ca 95023
Ph:800-521-9523 ** www.cedar-valley.com

SHAKE LAP SIDING

Cedar Texture

Products:

- LP® SmartSide® 38 Series Shakes
- LP® SmartSide® ExpertFinish® 38 Series Shakes

DESIGNED & RATED FOR EXTERIOR USE

Substrate:

- Features engineered wood strand technology with precisely-sized, shaped, and layered wood strands from Aspen logs
- Made using LP's proprietary SmartGuard® process, which includes industrial-grade resins, water-resistant waxes, zinc borate, and a resin-saturated overlay



Sustainability Info:

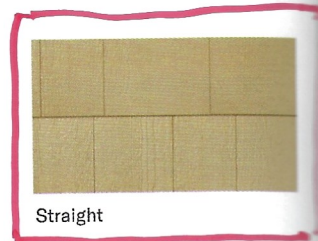
- ASTM-Verified Carbon Negative
- Made with wood, a renewable resource, vetted through strict Sustainable Forestry Initiative® (SFI®) standards



Reversible design allows for staggered or straight edge



Staggered



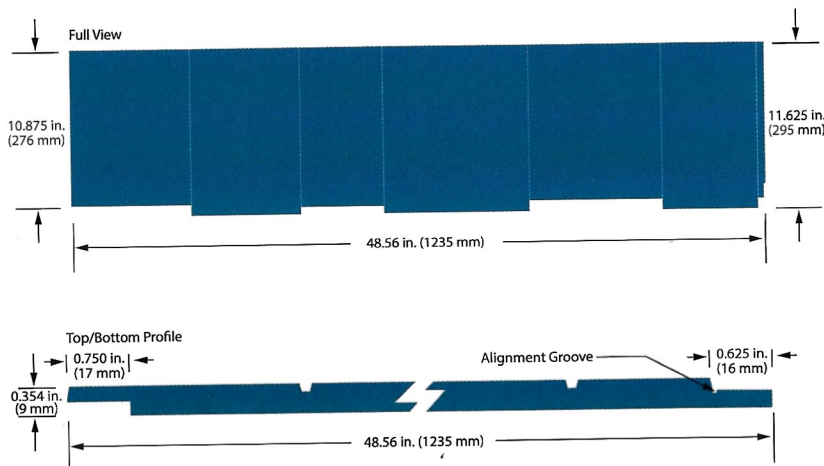
Straight

Application Instructions:

LPCorp.com/Literature



38 SERIES CEDAR TEXTURE SHAKES



TRIM

Brushed Smooth

Products:

- LP® SmartSide® 540 Series Trim
- LP® SmartSide® ExpertFinish® 540 Series Trim

DESIGNED & RATED FOR EXTERIOR USE



Substrate:

- Features engineered wood strand technology with precisely-sized, shaped, and layered wood strands from Aspen logs
- Made using LP's proprietary SmartGuard® process, which includes industrial-grade resins, water-resistant waxes, zinc borate, and a resin-saturated overlay



Application Instructions:

LPCorp.com/Literature



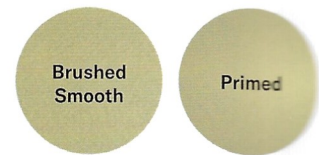
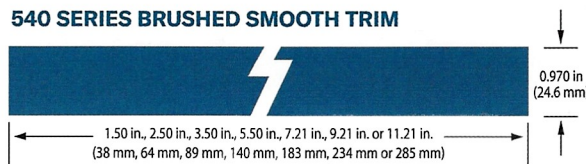
Sustainability Info:

- ASTM-Verified Carbon Negative
- Made with wood, a renewable resource, vetted through strict Sustainable Forestry Initiative® (SFI®) standards



Primed Specifications and PIDs:

540 SERIES BRUSHED SMOOTH TRIM



PRODUCT	LENGTH	ACTUAL WIDTH	THICKNESS	WEIGHT	PID
540 Series Brushed Smooth Trim	16 ft. (192 in.) (4.9 m)	1.50 in. (38 mm)	0.970 in. (24.6 mm)	3 PSF	46011
	16 ft. (192 in.) (4.9 m)	2.50 in. (64 mm)	0.970 in. (24.6 mm)	3 PSF	46010
	16 ft. (192 in.) (4.9 m)	3.50 in. (89 mm)	0.970 in. (24.6 mm)	3 PSF	45992
	16 ft. (192 in.) (4.9 m)	5.50 in. (140 mm)	0.970 in. (24.6 mm)	3 PSF	45993
	16 ft. (192 in.) (4.9 m)	7.21 in. (183 mm)	0.970 in. (24.6 mm)	3 PSF	45995
	16 ft. (192 in.) (4.9 m)	9.21 in. (234 mm)	0.970 in. (24.6 mm)	3 PSF	45997
	16 ft. (192 in.) (4.9 m)	11.21 in. (285 mm)	0.970 in. (24.6 mm)	3 PSF	45998

Landmark[®] Series

Designer Roofing Series

SHINGLE ROOFING

 **certainteed**
SAINT-GOBAIN

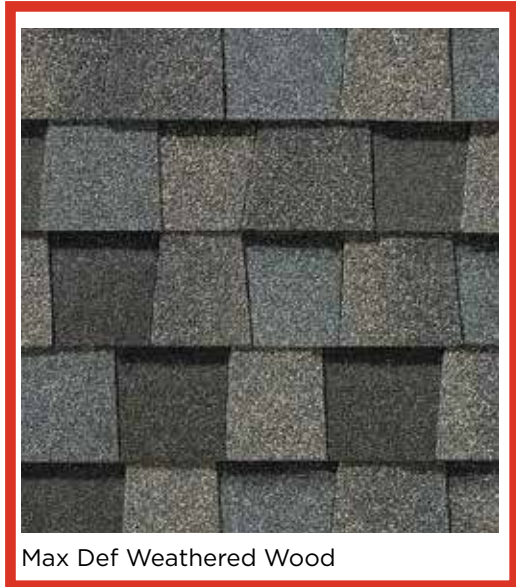


Landmark, shown in Weathered Wood


SAINT-GOBAIN



Max Def Colonial Slate



Max Def Weathered Wood



Max Def Driftwood



Max Def Espresso



Max Def Heather Blend



Max Def Shenandoah



Max Def Coastal Blue



Max Def Red Oak



Max Def Evergreen

MAX DEF COLORS

Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.



9434

Strength with Style

LANDMARK®

- Certified to meet UL 2218 Class 3 Impact Resistance
- Dual-layer durability
- Industry-best lifetime limited warranty
- 25-year **StreakFighter**® algae-resistance warranty
- **Solaris**® *CoolRoof* colors have a Solar Reflectance Index greater than 20 SRI.

LANDMARK® PRO

- Certified to meet UL 2218 Class 3 Impact Resistance
- Dual-layer, high performance
- Max Def color palette
- Industry-best lifetime limited warranty
- 30-year **StreakFighter**® algae-resistance warranty

LANDMARK® PREMIUM

- Certified to meet UL 2218 Class 4 Impact Resistance
- Dual-layer, high performance
- Max Def color palette
- Industry-best lifetime limited warranty
- 30-year **StreakFighter**® algae-resistance warranty



LANDMARK SERIES

SPECIFICATIONS

- Two-piece laminated fiberglass-based construction
- Classic shades and dimensional appearance of natural wood or slate
- **Solaris**® *CoolRoof* colors have a Solar Reflectance Index greater than 20 SRI.

For U.S. building code compliance, see product specification sheets.

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

Wind Driven Rain Resistance:

- Miami-Dade Product Control Acceptance:
Please reference www.certainteed.com to determine approved products by manufacturing location.

Impact Resistance:

- Certified to meet UL 2218 Class 3 (Landmark, Landmark PRO)
- Certified to meet UL 2218 Class 4 (Landmark Premium)

Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537

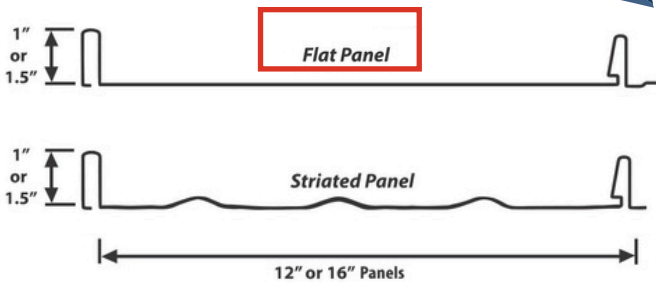
WARRANTY

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 50-year limited transferable warranty against manufacturing defects on group-owned or commercial applications (Landmark PRO and Landmark Premium)
- 40-year limited transferable warranty against manufacturing defects on group-owned or commercial applications (Landmark)
- **StreakFighter**® algae-resistance warranty (25-year - Landmark, 30-year - Landmark PRO, and Landmark Premium)
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 160 mph available. CertainTeed starter and CertainTeed hip and ridge required

See actual warranty for specific details and limitations.

STANDING SEAM

METAL ROOFING



Also Available In Clip System

Suggested Minimum Roof Slope 3:12

- ✓ Width 12" or 16" Coverage
- ✓ 1" or 1.5" Rib Height
- ✓ 26 & 24 Gauge
- ✓ Available in Weather XL™ and Crinkle™ Finishes
- ✓ Limited Lifetime Paint Warranty System

- ✓ Concealed Fasteners
- ✓ Available in Galvalume
- ✓ Residential & Commercial Use
- ✓ Applies Over Solid Substrates with Use of Underlayment
- ✓ Backer Rod Recommended on All Standing Seam Panels

PANEL COVERAGE (NAIL FIN)

Panel	Coverage
1" Rib Height 12" Panels:	12"
1-1/2" Rib Height 12" Panels:	12"
1" Rib Height 16" Panels:	15-1/2"
1-1/2" Rib Height 16" Panels:	14-1/2"



JD Metals

LINKING QUALITY & SERVICE

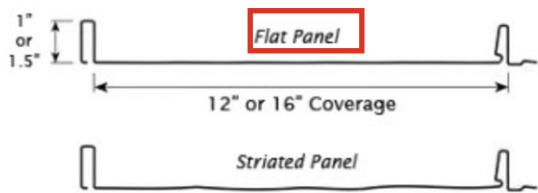
Contact Us:

☎ 423.257.8310

🌐 jdmembers.net

📍 3800 Hwy 11E
Limestone, TN 37681





<u>Panel</u>	<u>Coverage</u>
1" Rib Height 12" Panels:	12"
1-1/2" Rib Height 12" Panels:	12"
1" Rib Height 16" Panels:	15-1/2"
1-1/2" Rib Height 16" Panels:	14-1/2"



Casement + Awning Windows

Marvin Ultimate™ Casement and Awning windows showcase innovation and high performance. Delivering exceptional versatility and clean profiles, these state-of-the-art windows are designed to suit virtually any application.

AWNING NARROW FRAME, CASEMENT,
DIRECT GLAZE NARROW FRAME WINDOWS
Ebony



Step Into a Space for Meditation

Thoughtful design—including the careful placement of Ultimate Casement and Awning windows—helped create the calming feel of this weekend retreat. Learn more on the Marvin Inspiration blog.



marvin.com/tranquil-abiding



Casement

The Marvin Ultimate™ Casement window is offered in some of the largest sizes in the Marvin portfolio, with a secure multi-point lock, durable hardware that ensures smooth operation, and the exclusive Wash Mode for easy cleaning – even on upper floors. With many design options, including round top shapes, the Ultimate Casement window flexes to fit your vision and can be sized to complement the most expansive views.

fig. 1 **CASEMENT WINDOWS**
Designer Black

fig. 2 **INTERIOR VIEW**
Pine

fig. 3 **EXTERIOR VIEW**
Gunmetal

fig. 4 **CASEMENT WINDOW**
Designer Black



fig. 2



fig. 4



fig. 1

**SDL PATTERN,
TYPICAL.
SEE DRAINGS**

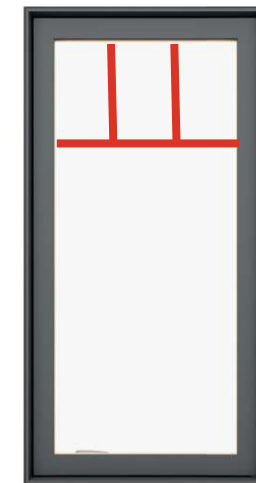


fig. 3

FEATURES

Durable hardware for easy operation, even at large sizes

Unique Wash Mode allows convenient cleaning of both sides of glass from indoors

Choose crank-out or push-out operation

Multi-point locking system ensures a tight seal and security from top to bottom

Expansive sizes to fit openings up to 3'6" wide by 8'6" high

Choose traditional Ogee profiles or square profiles for a more contemporary look

Divided Lites

Marvin® offers divided lites in a number of different styles to create the traditional look of individual panes of glass with the energy efficiency of dual-pane insulation.

Our custom capabilities allow us to create almost any divided lite pattern to match your design style.*

fig. 1 PRAIRIE 9 TOP AND BOTTOM
Clay

fig. 2 CUSTOM PATTERN
Suede

fig. 3 CUSTOM PATTERN
Bahama Brown

fig. 4 BOTTOM SASH COTTAGE
Sierra White



fig. 1



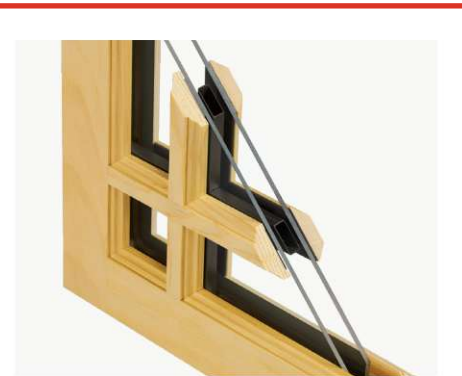
fig. 3



fig. 2



fig. 4



Simulated Divided Lite (SDL)

SDL bars are permanently adhered to both sides of the glass. Simulated Divided Lites with Spacer Bars (SDLs) are an energy-efficient way to create the look of authentic divided lites.



Authentic Divided Lite (ADL)

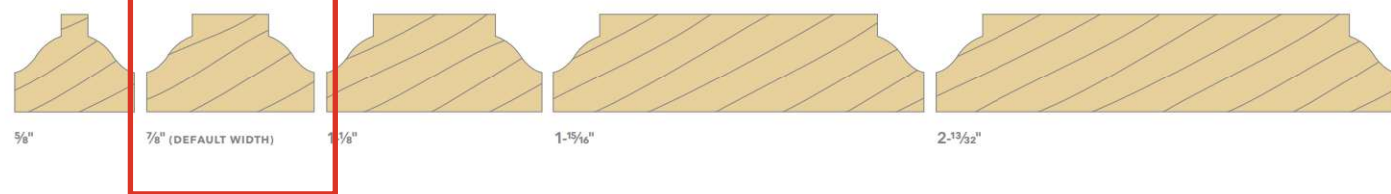
Separate panes of glass are glazed between muntin bars for historical accuracy. Available exclusively with wood exterior units.



Grilles-Between-the-Glass (GBG)

Grilles are permanently installed between the glass panes. This low-maintenance grille offers the look of a divided lite pattern with the ease of cleaning just one pane of glass. Available with different interior and exterior colors.

OGEE DIVIDED LITE WIDTHS



SQUARE DIVIDED LITE WIDTHS



* For more options, visit marvin.com

Glass + Glazing

The thermal and structural properties of wood combined with the right glazing make Marvin® wood and extruded aluminum-clad products an optimal choice for energy efficiency. We offer thousands of window and door options with two or three panes of glass and a range of glazing options to meet the performance challenges of any climate.

Dual-Pane Glazing

Our standard glazing is dual pane: two panes of glass with Low E coatings and insulated with argon gas. Compared with a single glass pane, dual-pane glass cuts energy costs significantly because of low-emissivity coating and the gas-filled insulating space between the glass layers.



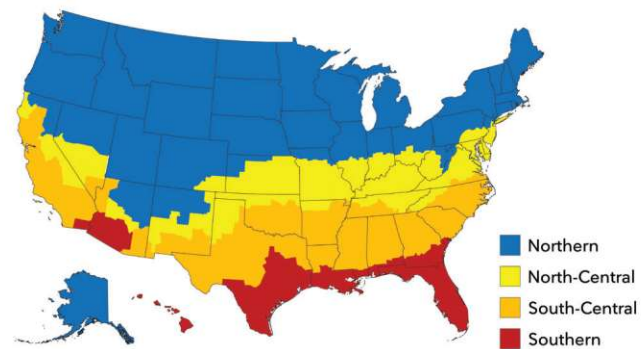
Triple-Pane Glazing

Triple-pane glazing consists of three panes of glass with Low E coating applied to the surface. Two glass spaces are insulated with argon gas between the panes. Available in products where glazing thickness can be greater than 3/4".



Glass Coatings

Low E coatings are microscopically thin, essentially invisible coatings on the glass surface that help manage the amount of light and heat conducted through a window pane or reflected away from it, reducing a home's dependence on heat and air conditioning. The national ENERGY STAR® program recognizes products that meet strict energy-efficiency guidelines to suit climates in different areas of the country, and Marvin offers products to meet climate and code requirements in every region.



Low E1

Low E1 coating is a good choice when you want maximum solar heat gain and radiant heating properties. This type of coating is generally used in Northern climates where heating is prioritized over cooling. You'll reap maximum benefits when windows with this type of coating are positioned to receive direct sun exposure.

Low E2

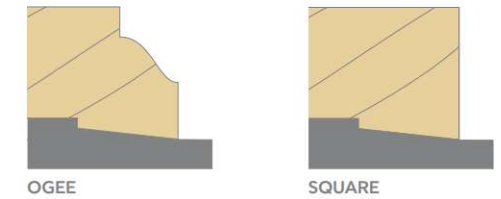
The most common Low E coating, since it works well across most geographic regions and climates. Low E2 with two metallic coatings balances less solar heat gain and improved radiant heating properties.

Low E3

Used in applications where solar heat gain may be a concern, Low E3 coating uses multiple metallic layers for radiant properties similar to Low E2. This type of coating is most commonly used in Southern, sunny climates where cooling is prioritized over heating.

Glazing Profiles

Ogee and square interior and exterior glazing profiles are available. Choose Ogee for more traditional projects, and square for a clean, contemporary look. Interior and exterior glazing profile options vary by product type.



Specialty Glass

Our specialty options include glass for unique project needs like sound abatement (STC/OITC), high altitudes, Sea Turtle Conservation Codes, and California fire zones. We also offer laminated glass on certain products that are designed specifically for hurricane zones.

A variety of decorative glass options, including those shown below and others, are available to meet the unique needs of each project. Laminated glass is also available in clear, bronze, gray, or green with tinted interlayers.



FROSTED



BRONZE TINT



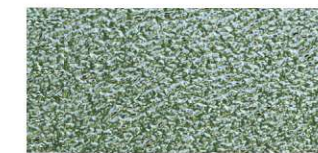
GRAY TINT



GREEN TINT



SANDBLASTED



OBSCURE



GLUE CHIP



RAIN



REED



NARROW REED



FLEMISH



AQUALITE



WHITE LAMINATED



BEVELED



V GROOVE

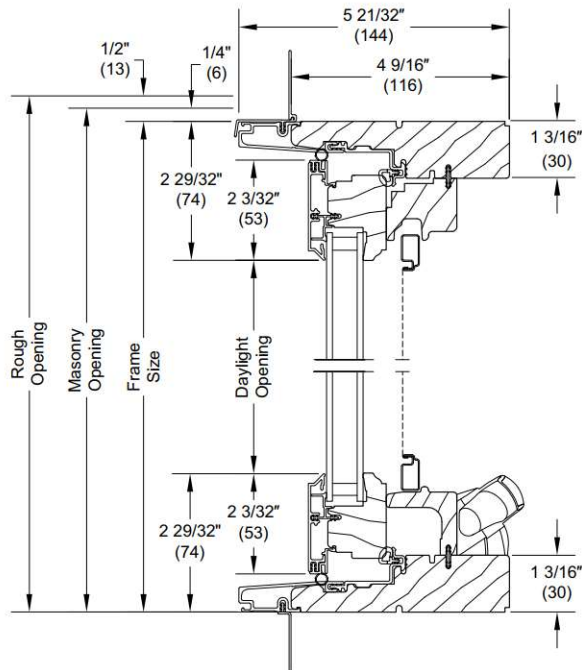


LEADED

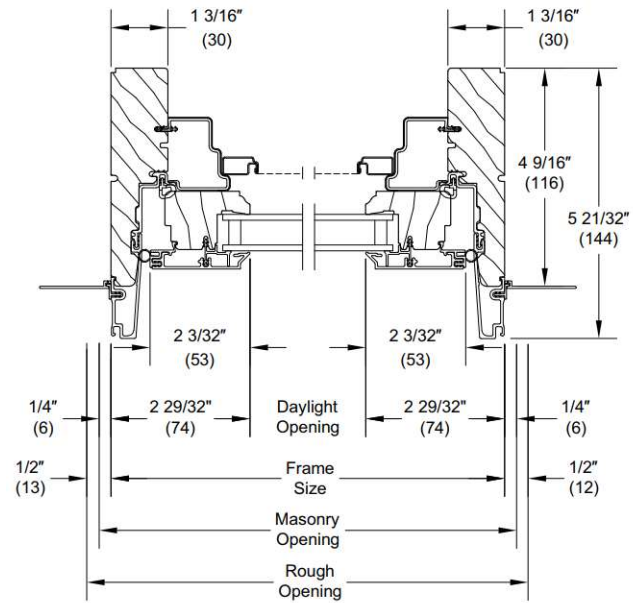
Section Details: Operating/Stationary/Picture - 3/4" (19) IG

Scale: 3" = 1' 0"

Operating

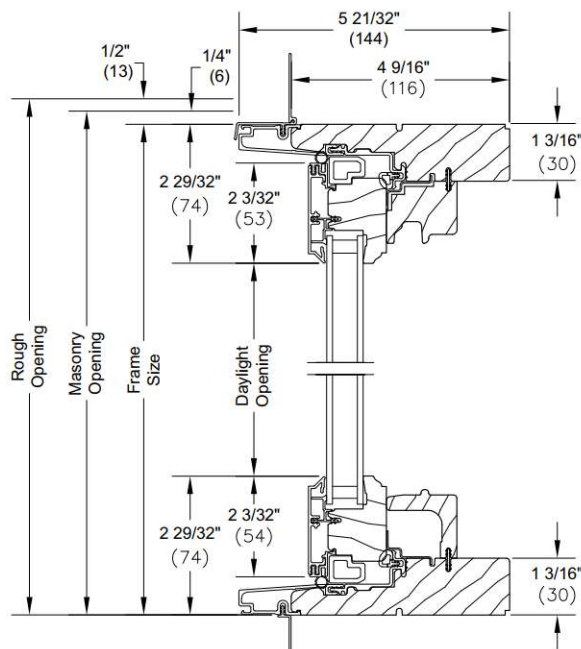


Head Jamb and Sill

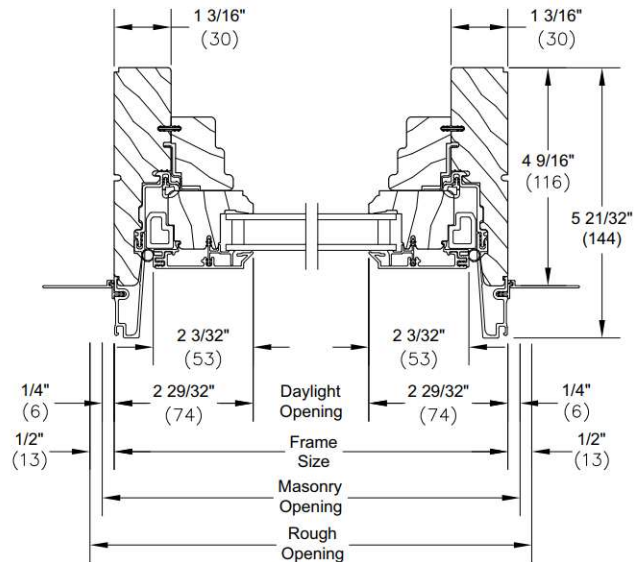


Jambs

Stationary/Picture



Head Jamb and Sill



Jambs

FRONT DOOR



Nicksbuilding.com®

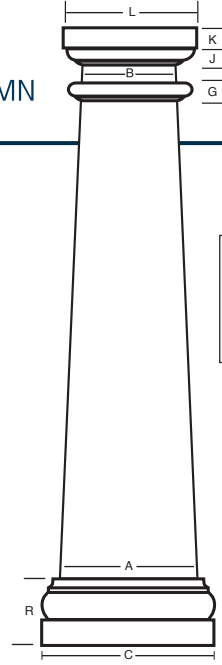


HB&G
BUILDING PRODUCTS



QUALITY. STRENGTH. ELEGANCE.

CRAFTSMAN PERMACAST® PLUS COLUMN

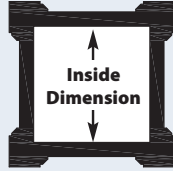


Neck mould is adjustable and can be applied anywhere on column.

CRAFTSMAN INSIDE DIMENSION

Inside dimension may vary up to 1/4".
Splitting a column will decrease inside dimension 1/8".

Column Size	Top	Bottom
10" x 5½"	4½"	9"
10¼" x 7½"	7"	9"
10" x 8"	7"	8½"
12" x 8"	6½"	11"
12" x 10"	9"	11"
14" x 12"	11"	13"
16" x 9"	8"	15"
16" x 9"	11"	15"



1X4 & 1X7 FIELD APPLIED CAPITAL AND BASE

CRAFTSMAN COLUMN DIMENSIONS (IN INCHES)

	A	B	C	D	E	F	G	J	K	L	R	Length
10" x 5½"	10"	5½"	13⅝"	2½"	2½"	1"	1"	1⅜"	1⅜"	9⅝"	5⅞"	66"
10¼" x 7½"	10¼"	7½"	13½"	2⅜"	2¼"	¾"	1"	1"	1"	10¼"	5⅜"	7'
10" x 8"	9½"	7½"	12¾"	2⅜"	2½"	¾"	1"	1"	1⅜"	10¼"	5¼"	66"
12" x 8"	12"	7⅞"	16⅝"	2½"	2½"	1⅞"	1"	1¼"	1½"	10⅝"	6⅞"	5', 6'
12" x 10"	12"	10"	16⅝"	2½"	2½"	1⅞"	1"	1"	1⅜"	12¾"	6⅞"	6', 10'
14" x 12"	14"	12"	18¾"	3⅜"	3"	1"	1"	1⅝"	2"	17⅞"	7⅜"	9'
16" x 9"	16"	9"	19⅞"	2½"	2½"	1⅞"	1"	1⅜"	1⅜"	13¼"	6⅞"	6', 8', 58"
16" x 12"	15¼"	11½"	21½"	3⅞"	3⅞"	1⅜"	1"	1⅜"	2"	15¼"	8⅜"	6', 8'

*Has 1/3" to 2/3" taper.

NOTE: Neck mould is not applied. Flashing and Installation Kit is not available for Craftsman Columns with Poly Tuscan cap and base sets.

- Split columns are not load bearing.

FRONT PORCH COLUMNS



Square **PERMA**Cast® Plus Columns

SQUARE PERMACAST® PLUS INSIDE DIMENSIONS

Inside dimensions may vary up to 1/4".
Splitting a column will decrease inside dimension 1/8".

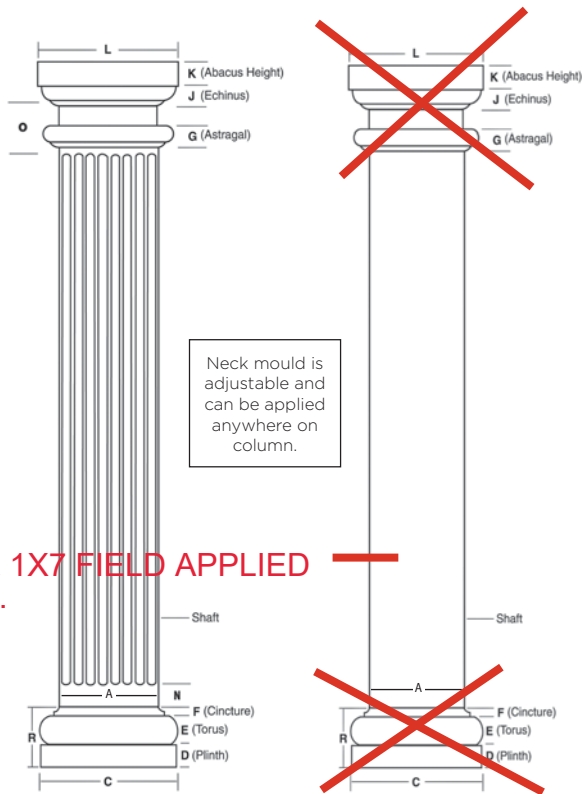
Column Size	Inside
6"	5 3/8"
8"	6 5/8"
10"	9"
12"	11"
14"	13"
16"	15"

*Inside is Round

**SHAFT ONLY. 1X4 & 1X7 FIELD APPLIED
CAPITAL AND BASE.**

Plumb-Fit®

To make installation even easier our 6"-12" round and square poly Tuscan Cap and Base Sets with flashing cap come with the patented (Patent 9689674) Plumb-Fit® installation system included.



PermaCast® Plus Square Column shown fluted with Poly Tuscan Cap and Base.

PermaCast® Plus Square Column shown plain with Poly Tuscan Cap and Base.

SIDE & REAR PORCH COLUMNS

SQUARE PERMACAST® PLUS COLUMN DIMENSIONS (IN INCHES)*

Column Size	A	C	D	E	F	G	J	K	L	N	O	R	Lengths Available (ft.)
6"	6"	9 1/8"	17 1/16"	15 1/16"	9/16"	1"	1 1/4"	1 3/8"	9 1/8"	N/A	N/A	3 5/16"	6, 8, 9, 10
8"	8"	11 1/8"	17 1/8"	13 3/4"	5/8"	1"	1 1/4"	1 1/2"	10 15/16"	4"	3 1/8"	4 1/4"	6, 8, 9, 10, 12
10"	10"	12 7/8"	2 3/8"	2 3/16"	3/4"	1"	1 1/4"	1 3/4"	12 5/8"	3 3/4"	4 1/8"	5 7/16"	51" 6, 8, 9, 10, 12, 14, 16
12"	12"	16 3/8"	2 13/16"	2 3/8"	7/8"	1"	1 1/8"	2 3/16"	16 3/8"	N/A	N/A	6 1/16"	8, 9, 10, 12, 14, 16, 18
14"	14"	19 3/8"	3 5/8"	2 7/8"	1 1/16"	1 1/8"	2 1/16"	2 1/2"	19 1/16"	N/A	N/A	7 9/16"	8, 10, 12, 14
16"	16"	22 1/8"	3 3/8"	3 3/8"	1 3/16"	1 1/8"	2 3/8"	2 3/4"	21 1/2"	N/A	N/A	8 7/16"	8, 10, 12, 14, 16, 18, 20

■ Fluted Square.

*There may be a variance of up to 1/4" in all dimensions.
• Split columns are not load bearing. • See page 16 for Decorative Capital dimensions.

Versatility of Square Columns

The design and versatility of an HB&G square column has enhanced its popularity with today's architects. The HB&G Square PermaCast® Plus column lineup includes plain, recessed panel, fluted, and Craftsman styles. An unlimited combination of styles can be achieved by various uses of the neck moulding, and caps and bases. Additionally, the plain square column is not tapered and can be cut to any height without affecting the fit of the caps and bases.



YellaWood
Pressure Treated Pine

KDAT TONGUE AND GROOVE PORCH FLOORING

Easy on the eyes. And the feet.

The porch is hallowed ground so use YellaWood[®] brand tongue and groove porch flooring. Kiln dried after treatment to minimize shrinkage after installation, you can't go wrong with YellaWood[®] brand porch flooring. KDAT porch flooring should be primed on all six sides (including field cuts) prior to installation.

[Find a KDAT Dealer Near You](#)

[KDAT flooring installation instructions](#)

BENEFITS

- KDAT products must be painted, stained or sealed immediately after installation
- Kiln dried after treatment (KDAT) to minimize shrinking after treatment
- Proven protection against rot, fungal decay and termite attack
- Lifetime limited warranty
- Environmentally preferable treatment process

Prior to installation, keep elevated, covered and completely dry.

AVAILABLE IN

- Dimensions: 5/4x4"; 1x4"; 1x6"
- Lengths: 8', 10', 12', 14', 16'
- Grades: #1, #2, C&BTR, D&BTR, Center Match

Product availability varies by region.

