



The City of Spartanburg Design Review Board

AGENDA

August 1, 2023, at 5:30 P.M.

City Hall Council Chambers

145 W. Broad Street – Spartanburg, SC 29306

(Please Note: Items as they appear on the Docket may or may not be considered in the order as they are presented. The Chairman will announce any changes after the roll call).

- I. Call to Order.**
- II. Roll Call.**
- III. Freedom of Information Act Compliance –** Public notification of the Design Review Board meeting has been published, posted and mailed in compliance with the Freedom of Information Act and the requirements of the City of Spartanburg Zoning Ordinance
- IV. Approval of Agenda.**
- V. Disposition of the Minutes of November 1, 2022, meeting.**
- VI. Disposition of the Minutes of November 22, 2022, meeting.**
- VII. Old Business: None.**
- VIII. New Business:**

The Design Review Board (DRB) has received a request for Preliminary conceptual approval of a buildings form, massing and placement on the site for the proposed Spartanburg County Public Library – Headquarters Expansion and Planetarium located in the DT Zone (Civic District) at 151 S. Church Street (Tax Map Sheet: 7-12-21-074.00). Owner: Spartanburg County Library / Applicant: Adam Flynn and Sarah Stevens, McMillan Pazdan Smith.
- IX. Selection of Chair / Vice Chair.**
- X. Staff Announcements:**

Continuing Education Requirements
- XI. Adjournment.**

For more information, please call Martin L. Livingston, Jr., AICP, CPM, Community Development Director at (864) 580-5323 or by email at mlivingston@cityofspartanburg.org.

Meeting Minutes of the Design Review Board (DRB)
Tuesday, November 1st, 2022 at 5:30 PM
City Council Chambers

The Design Review Board (DRB) met at City Hall Council Chambers on Tuesday, November 1st, 2022 at 5:30pm. The following Board Members were in attendance: **Kevin De Mark, Lucy Lynch and Lukas Hauser**. Representing the City of Spartanburg's Planning Department was **Martin Livingston, Community Development Director; Tia Keitt, Planner II; and Nan Zhou, Planner I**. Also attending was **Craig Lewis, the City's Design Consultant**.

Meeting Called to Order:

Mr. De Mark: Good evening. I call this meeting to order Tuesday, November 1st, 2022 at 5:30, City Council Chambers, 145 West Broad Street. This is the City of Spartanburg Design Review Board. And, if I could get a roll call, each member introduce themselves and state their name for the record.

Roll Call:

Mr. Hauser: I'm Lukas Hauser, present.

Ms. Lynch: Lucy Lynch.

Mr. Lewis: Craig Lewis.

Mr. De Mark: Thanks, Craig. Per the Freedom of Information Act, public notice of the Design Review Board meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the requirements of the City of Spartanburg Zoning Ordinance. There was a set of minutes that was sent to each of you. Have you had a chance to review those? Are you able to approve them? I need a motion and a second.

Approval of Minutes for meeting on Tuesday, October 4th, 2022:

On a motion by Ms. Lynch and second by Ms. Hauser, the meeting minutes was approved by a vote of 5 to 0.

Ms. Lynch: Yes. Motion to approve the minutes.

Mr. Hauser: Second.

Attendees: Aye all in favor?

Ms. Lynch: Aye.

Mr. Hauser: Aye.

Mr. De Mark: Okay. Aye as well. Sorry. The minutes are approved for the previous meeting. There's no old business, but there is new business. Martin, can you introduce the first project please?

Mr. Livingston: Approval of the agenda.

Mr. De Mark: Oh, I'm sorry. Can we get a motion to approve the agenda?

Approval of Agenda for tonight's meeting on Tuesday, November 1st , 2022:

On a motion by Ms. Lynch and second by Ms. Hauser, the agenda was approved by a vote of 5 to 0

Ms. Lynch: Motion to approve the agenda.

Mr. De Mark: I second it.

Mr. De Mark: All in favor say aye.

Attendees: Aye.

Mr. De Mark: Sorry, Martin. Let's, go over the first.

The Design Review Board (DRB) has received a request for Full and Final Approval for a proposed residential development – Northside Townhomes Phase II, located in the DT-4 and DT-5 Districts on 43 parcels and portions of parcels located at Milan Street, Vernon Street, and Ridge Street (Tax Map Sheet: 7-12-05, Parcels 116.00, 122.00, 122.01, 124.00, 125.00, 126.00, 128.00, portion of 129.00, portion of 130.00, 134.00, 135.00, 136.00, 137.00, 138.00, 139.00, 140.00, 141.00, 142.00, 143.00, 144.00, 145.00, 146.00, 147.00, 148.00, 149.00, 150.00, 151.00, 152.00, 153.00, 154.00, 156.00, 160.00, 161.00, 162.00, 163.00, 164.00, 165.00, 166.00, 167.00, 168.00, portion of 170.00; Tax Map Sheet: 7-12-01, Parcels 165.00 and 166.00), from Owner: Michael Williamson, Northside Development Group / Applicant: John Montgomery, Montgomery Development.

Mr. Livingston: Mr. chairman, members of the board. The Design and Review Board has received a request for full and final approval for proposed residential development Northside Townhomes Phase II located in DT-4 and DT-5 on 43 parcels and portions of parcels located at Milan Street, Vernon street and Ridge Street. The owner is Michael Williamson, Northside Development Group, applicant is John Montgomery, Montgomery Development Group. I have a presentation from the applicant.

Mr. De Mark : The developer will come up and introduce themselves, state their name and their address and sign into the docket on the podium.

Mr. Montgomery: My name is John Montgomery. I'm a resident of Spartanburg, my address is 1150 Woodburn Road and thank you all for having me. So, we were here together two months ago to talk about my project and I know the site claims preliminary approved. So we're here to continue the process. To remind you, I'm acquiring 43 parcels of land specifically from City of Northside Development group to develop 83 towns in the north side. This will be Phase II of my project. Phase I was already approved and just completed.

The property is bounded by Milan Street, Vernon Street and Ridge Street. I was able to acquire most all of those properties as you can on Ridge there were two sellers or landowners that did not want to sell. So, I was able to acquire those. But looking around, this is a landscape conceptual rendering of the site plan and property, which is different from the previous plan that shared with this interview board two months ago. We had quite a discussion about the site plan previously

and y'all had tasked me with making some modifications to the plan to add some sidewalks to make the internal space more user friendly and to add some green space.

And so just to point out some of the main changes we made from the previous plan that we saw back in September along Vernon Street, we added a five foot landscape edge between the street and the sidewalk per the request of the board, so you can see that we've added that strip of green grass. To remind you the internal loop that you see that is not a public street, that is not intended for public use and its intended just for the residents that live in this project.

We added sidewalks on the, I can't get through, few plan left. We added a sidewalk on the right side of that street to connect that was something you asked me to do. So we added a sidewalk, making it more pedestrian friendly and internal alley for people to traverse. On the right side of the plan we added the sidewalk on the left hand side of the alley. So you can see in that sidewalk those few squares that go North to South.

We also added sidewalks to connect up to Ridge Street per your request. We added a sidewalk out about hill park on the top left hand of the plan up to Vernon street. So, I think that we addressed some of the pedestrian concerns. We also took the center space, which is a subtle difference. But if you were to compare this plan to the plan two months ago, there was a grading element in the center of that to transition grades because the property has significant tempo from top right to bottom left, there's over 30 feet of fall across the site. So we flattened that site out, which means we're having to add retaining walls along the back side of the Winchester units.

But that created a flat area in between these buildings to make it more of a yard or user friendly per your request. Unfortunately, because of the addition of sidewalks and planning strips, we lost about 12 feet of real estate in the middle of the property. So it used to be 12 feet wider in between those buildings. But, because of the request you had for the sidewalks and planning strips we lost by real estate for the residents to enjoy that yard, but we still have a nice green space that will be totally flat inside in the middle of the property for people to move physically actively.

We also from the previous plan, we'll see as we go through, we change some models per your recommendation for some of the interior units. But just before we go to the next, I think we tried very hard to address concerns about landscaping, walkability, livability and making more user friendly. So, those are some changes. So, that's just an overall plan. So, just to remind you, I have three different building types that we're building and remind these are all town homes for rent. This is not a for sale product. These are not Single Family homes. This is to be considered an apartment project where we have renters living here and I'm maintaining all of yards and all of the out spaces. So, the property on Milan street, which faces my Phase I project, which was just completed, these are three story town homes.

They are rear loaded, meaning if you could go to the next slide please. You'll see these are the fronts of the units. These are very attractive. They face Milan street, they will have sidewalks leading up to the front door of the units. They have different facades to break up the linear nature of these buildings, they're rear loaded with two car garages and the parking, they'll also have parking pads outside the garage.

They're likely to be more than two people in these buildings because they're three bedroom, three and a half bathroom units. But I wanted to do three story units along Milan because the buildings across the street were three story and I think they would compliment each other well once you drop down. Milan has a nice pedestrian view. So, that's front look of the landing unit you. If you could go to the next slide, these are the architectural renderings of the front and rear of the units.

As a reminder, these are all Hardie siding and brick. We have metal roofs on the Harding's, stainless steel metal roofs, architectural shingles on the roof, the black windows, white trim, iron gray color schemes, crafting doors, you know, garage doors, crafting style, they're black. Can you keep scrolling down please. These are the renderings of the front as you saw, front like in the rear, which you will not see from any public street. Two car garages. The second floor, which is the living space, has a balcony. So some nice outdoor space. Some of the units as you see have outdoor spaces on the front as well. They all have new porches, very similar to what I have with Phase I. That was previously. So that's the landing unit, that's the roof plan, these are interior floor plans, the garage and first floor room, second floor would be the living room and dining, third floor having bedroom.

Moving on, this is very similar to what we saw in the previous presentation I gave back in September. The Winchester units wrapped around in Vernon and Red Street. These are also rear loaded. So in public street you drive around the someone's property, you'll not see garages as these will all be rear loaded. The Winchester units will have sidewalks and steps entering into the units. They are two story units. So we are trying to have some variety of unit mix. Phase I, we only have one product type and we've got a lot of feedback from few renters about the two-story units and they're less expensive, which will allow me to pass those savings on to those who need for the affordable component of my project, so these are the two-story units with rear loaded garages. All sidewalks through front.

These are the front color renderings of the two-story unit, which are very similar to what Landon looks like in color, which is two stories and three, small porches, stain roots, architected shingles, Hardie siding, same colors as before. But that's what you will see from Vernon and Ridge Street. The rear elevation is obviously different than the Landon. It's two-story, but you'll see garage and yeah, exact same finishes as only and then you'll see the one car garage in the rear, there will be two car parking pad behind. This is the floor plan of inside the units, three bedroom, three and a half bathroom, counter rooms.

And then on the interior we initially had proposed a series of Winchester and we've switched now to you all's recommendations from Litchfield to these more traditional front load town homes. So these units will face the alleys on which they are served by the vehicular and pedestrian traffic. So these units were front on these interior alleys and then the backs of these homes will lead out into the green space through the middle of the property. So have six buildings up in Litchfield unit. These are also two-story so let's see what they're going to look like. Very similar to the others in the exact same color schemes but these are different in which they're front loaded, meaning your door is next to your same side part of your garage.

So, different facades, you've seen we have several different facades and dual locations to break it up. But each of these units will have parking pads out front, one car garage leading into kitchen, living area, the bed is on the second floor. Exact same finishes as the Landon and the Winchester just a different orientation of the sidewalks. Exact same finishes of previous other two unit types.

This is the architectural drawings of the front and the rear elevations of building that you'll see all hard, all around, that's the roof plan, these are the floors of the units.

And then I think what we have here is just going back to just site plan. It shows the different units, the pedestrian ways where the sidewalks we've had it. As far as Milan Street goes, which is the southern one, we mirrored the sidewalk that we did on Phase I. So the Phase I sidewalks along the Milan Street have the wider, they're 12 feet wide with the tree wells. That's what we are proposing for this just to mirror them to remind you Milan Street has on street parking on the south side. Street is not wide enough to have on street parking on both sides. And we couldn't move Milan Street because there is significant power overhead lines and head roofs have been installed and serve the entire Northside first Phase so we had to look they substantial.

As part of this, we're closing Weldon Street in its entirety. So Weldon Street is not a means of ingress or regress in the site. We're going to close it from end to end going across only at the end of Weldon Street and we're looking through the process to go close around street.

Mr. De Mark: Weldon Street is the street?

Mr. Montgomery: I'm sorry, yeah, Weldon Street you can see it where it's end is. It's showing there but it's not going to be, we're are starting the gate there. It's not going to be an accessor for anything. This is a grading plan. Believe it or not, from the last meeting to this one, David McCutchen has done significant amount of tweaking on the plan to make the site work with the units we have, trying to continue to have the density that we're hoping for on the site.

So you can see that area in between the buildings is flat, which creates obviously a scenario where we have some more steps along Vernon Street than we originally had in Milan Street. So it would be similar to Phase I on Raindrop where you have a series of steps going up into the units. They're not going to be right on plan for sidewalk, they'll quite a bit of extra work to make that center space flat required to build an additional rain chain walls.

Mr. McCutchen: State my name?

Mr. De Mark: Sure.

Mr. McCutchen: David McCutchen from McCutchen Engineering. One point thing just want to point out on the plants that you can't see there to create that flat space in the middle. There's foundation sub walls and to Litchfield on the right that probably end up 8 to 10 foot range depth, that's definitely a premium cost before we had that 10 foot back in the middle but that made that essentially nonfunctional in the middle. So we have to absorb that foundation that's what see what the stairs would come down to between those two rooms there to put you from the upper 10 foot at the garage level. And so that's just being exposed along the step but it is extremely some type finish. So those are the changes we've made and that's what we're presenting tonight for consideration.

Mr. De Mark: Thank you. Questions from your board?

Mr. De Mark: Of the planning?

Mr. De Mark: No, nothing.

Mr. De Mark: No? Craig, you want to share your thoughts?

Mr. Lewis: I'd be happy to. All right. So several changes since the last plan. When we were all last together two months ago, there were three primary directives that were given by the DRB for the plan. It was to improve the internal pedestrian circulation, find more locations for trees internal to the site and enhance the central space. So we'll say broad direction, but I think it was pretty focused in those areas. So I think a lot has changed. There's a lot to about the revisions of the plan.

Certainly made changes with regard to the central space. Added the sidewalks internal to the site. Everything compressed a little bit because in addition to adding the sidewalks, you've got to be 20 feet off the back of the sidewalk so that someone can actually walk on it and not walk around cars all the way. So that did have a little bit of a ripple effect internally and they lost a little bit of space on the inside. So the central space on the internal site has been changed. It's flat, it's much more attractive, little bit more usable. It's still functionally the backyards of those units is not really a great park space. So it would be nice if it was given how many three bedroom units that there are and the anticipation for families and children that are there. But it certainly is better than what it was.

So I think that's sort of a good start. There weren't any additional trees that were added to the interior of the site and I don't know, there's some conflict between the renderings of a one car garage and then the plan of a two car driveway, which I'd love to get a little bit of clarity on. I don't know if they're all, what are those?

Mr. McCutchen: We did acknowledge that.

Mr. Lewis: Okay.

Mr. McCutchen: He pointed that out. Color rendering show single width driveway where as the side one shows double width.

Mr. Lewis: Right.

Mr. McCutchen: With all these, we could do only one parking and head room.

Mr. Lewis: Why is that important? I mean there's two reasons why that's important. One is because as you're driving down the street, obviously it's all concrete, but also with all the driveways that are there, they're accommodating two cars parked in the driveway. There's no place to plant trees. So if some of them can be narrowed to one car, so there's tandem parking, one car in the garage, one car behind. And so planting trees every so often, the normal street tree planting requirement would be every 50 to 60 feet in a neighborhood. So that would be one to two in each block of homes that are. So that's a continued recommendation of ours to try to accommodate that. Obviously there are some existing trees there, some are in great shape, some are not in such great shape, but it's all going to be masqueraded. So it'd be nice to be able to revegetate at least in, we know things grow faster on here, 15 years we can have some decent canopy trees that are sort of replenishing the neighborhood canopy.

So, that's a big part of it. This is a slightly different plan than I got. And so since we finally made revisions along Vernon Street so the trees have been moved to the area between the curb and the sidewalk. Thank you for doing that. I am still advocating for on street parking on Vernon Street for very practical reasons because people are going to use it and with that many town homes along there, having convenience parking right at the front door is going to be something that's going to be helpful.

So, whether that comes from this site, which is Northside Development Corp site or the piece across the street, which is Northside Development Corp site, somewhere where we've got to find eight feet. So we've had a conversation internally about being able to do that. So hopefully we can make that happen so that it's a decent street. It will be used, it will definitely be used. Milan Street, I'm just trying to save the developer money. I don't think it's necessary to have a full tree and wells along there. I appreciate that it was done on the other side of the street. It didn't need to be done on the other side of the street. The standard was planting strip.

So, two benefits that come out of that. One, it's less expensive. Two, it actually gives the trees more soil volume where they can thrive. So it's actually better for the trees to have that planting strip in that area. Visually speaking, I think that they'll be happier to convert that side of the street because I think the trees will flourish a little bit more in that area. So my notes just disappeared on there. So, that's that. Same thing with Ridge, Ridge Street, obviously we're gap teeth up on the north side of that because there's just a portion of that's being built and a portion of that's not being built.

I recommend that the sidewalk that's required there be built, it's going to look a little funny because it's going to have one, it'll stop. But that means when the two little pieces get built, that's less space to have to worry about disrupting and that means that the homes there won't have to have that disruption during that construction process. So, it's better to go ahead and put that in there. So those are the site plan related issues. As we kind of move to a final. I looked at DRB at your discretion, make that determination. There are some code related issues with regard to the buildings that are submitted. So in order to approve the buildings you'll have to approve a series of exceptions to be able to do that. And I've outlined what those are to be able to do that. So a couple of key things we do.

The code does require raised entries from the sidewalk into the unit for several reasons, not the least of which is it provides a differentiation between where people are walking and the privacy of the unit. So there's a little bit of separation between the sidewalk and the unit, particularly when they're very close. We've also found frankly that thinking about those things over time, we eliminate a lot of drainage issues if there's some change in finished floor elevation between the sidewalk and the building when they're that close. So it's again, that's the code requirement. I don't know the units that the application didn't speak to that at all. So I have no idea if they're planning to comply.

Mr. McCutchen: All 800 units do more than comply with plus two feet. The Litchfield do not, cause we kind of treat those as interior, they're interior units. On Ridge Street, they're just over a foot and we have to squeeze up another six or eight inches to meet to a foot to around the park.

Mr. Lewis: I appreciate that. So the standards apply to all of the units regardless of what street they're on.

Mr. De Mark: Even if they're internal.

Mr. Lewis: Even if they're internal, the code doesn't look at an internal private street, it just looks at a street. So you would have to grant an exception for those units, be able to do that. The other piece is on porches. The code gives guidance with the recommended depth of a porch of eight feet if provided. Clearly not, I don't think any of the units have an eight foot depth on a porch. So it would be something that you would have to take a look at providing an exception about.

Mr. De Mark: Did we not provide that exception on the previous project?

Mr. McCutchen: We did.

Mr. De Mark: Because I don't think they're eight feet there.

Mr. McCutchen: No they're not

Mr. Lewis: Porch's depth?

Mr. De Mark: The porch depth is not-

Mr. Lewis: You're not talking about the front setback?

Mr. McCutchen: No. Porch depth is not anything on the first desk.

Mr. De Mark: No.

Mr. Lewis: No.

Mr. McCutchen: Probably three feet.

Mr. Lewis: Oh yeah, I'm sorry. You're talking about-

Mr. De Mark: Yeah, I'm talking previous project.

Mr. Lewis: Not this project.

Mr. De Mark: Yes. I think we already-

Mr. Lewis: Yes. And the way the code is written, the language is actually, it says usable front porches are at least 8 feet deep and 12 feet in width. So it doesn't say that every porch it provided has to be eight feet deep.

Mr. De Mark: Just I gotcha.

Mr. Lewis: To be usable they need to have a little bit of depth and a little bit of width about them.

Mr. De Mark: Is there something specific to the word stoop versus porch?

Mr. Lewis: No. Okay. So I apologize for all the detail. There's a lot of units, there's a lot of things about these units. So thank you for your patience on this. Garages, so the interior garages, the site plan exceptions that you granted last time certainly assumed that they were front-loaded garages. We get that. The code does permit front-loaded garages. It says if you provide them, they have to be set back five feet from the main facade and they can't exceed more than 50% of the width of the unit, which is very hard to do with town homes. But again, that's another exception that you would have to specifically provide to be able to do that. So those two pieces I think are important. It's just the sort of nature of that interior space that it's really hard to do front loaded garages on town homes.

So I had several more design oriented comments with regard to each individual unit and I'd be happy to go through those. I'm not sure that it's necessary, obviously it's a plan that's been built somewhere else and reusing the plans. I think one of the key things that I want the board to take

a look at in particular is the Winchester units, which are the units along Vernon Street. So, there's two nine unit buildings. Those are really wide buildings. There are a lot of details about each building. They're kind of all kind of, we'll say put together. I'm not sure that across nine units that they're harmonious, but they're different. There are sort of differentiated elements.

Across a nine unit building, again, really wide structure. You often don't see town homes that are wide. There's a little bit of a break for lots of reasons. One of them is corner units are nice, you can get premiums because you get extra windows out of the corner units. So you typically try to avoid really long runs out of that. But we have talked about that, I've talked about that with the development team.

So there are different, Martin, if you could go to the elevation for the Winchester.

It's that, you just passed it. It's the two story building. If you could just zoom in a little bit towards the middle. So when you put all these together, odd things happen because they're not drawn as a nine unit building. It's drawn as five different units that are all sort of put together. And so you can see right in the middle we've got a box column that goes from the porch ceiling down to the ground and then you've got a small tapered column that's on top of a brick column and there's a little bit of space in between and there's a little bit of space in between. So there's awkward space that gets created out of it. It looks like a mistake.

So I would say that in general elevations themselves, the individual elevations are handsome when they're all put together. There's just some awkward elements about it that I think I would encourage the DRB to take a look at. And there's several others of these that are, I think of following that same category. On the Landon, if you could go up, that's the first grouping. I know these sound like lots of little items. The sort of nature of this board is a technical review board. We've already decided that the big picture is that we're encouraging town homes and we've already have gotten that out. We're really talking about all the details of design.

So on that particular gable end that's a very odd detail and it's interesting because so much of the rest of the units are very sort traditional in detail. That one looks like a very sort contemporary element that because of the way that the gable end and the returns happen on both ends, because of these two sets of roofs colliding in that area. So again, it's an interesting detail. The board has made comments about things like that on other projects in the past. So I just wanted to alert you to that as you take a look at it.

And I think again, we've talked about the Litchfield units and the sort of width of garages and those things that will have to be reconciled through separate exception process. So in terms of the recommendations, so the site plan, I think you're probably ready with a couple of the exceptions that I've noticed noted to approve the final site plan, I think the most important thing is Vernon Street. We need to figure out how we can get some on street parking on Vernon Street. Whether this project or the other project. Again, it's all city land ultimately. And so we need to get it from somewhere.

And then there are several of those exceptions that I mentioned earlier. So the building entries, we need to confirm the height of the building entries. I think the applicants did. We just want to confirm that. The garages on the interior units, you'll need to grant exceptions to that nine unit building. I think you should take a good hard look at that nine unit building before you grant an

approval to that one and then requiring more trees on the interior of the site, which is your directive from the last meeting. So I apologize for the lengthy review, try to be very targeted in the comments and happy to answer any questions.

Mr. De Mark: Any questions from the board?

Mr. Hauser: I have a couple. I noticed that there's kind of a weird change that I'm not quite clear about at the bottom of that, the previous application, they were three units of six land duns at the bottom and now they are, which I guess 18 toll units and I'm glad that you got another unit cause now I think it's 19. But if you look at the white box in the middle of the seven and the seven, now it's seven and five. What is that white box? Is that just a mistake?

Mr. McCutchen: Yeah, it's green.

Mr. Hauser: It's green. Okay. That should be green cause yeah, it showed a little sidewalk. I just was curious about that. And on previous plan B had sidewalks. I mean I don't know if there's more pedestrian circulation. It's different. I really like the circular feature in the middle there. I mean that's probably a way that could be turned into a social space maybe with some tweaks.

But there were sidewalks surrounding all the units before and now I guess those are a backyard. And I guess what is the interface between the person opening their back door to that backyard? They're going to walk directly onto grass from the door and the grass goes up to-

Mr. McCutchen: There's a small concrete stoop.

Mr. Lewis: Patio?

Mr. McCutchen: Patio on the back of these cones and then they step out.

Mr. Hauser: And I guess that's related to the fact that we don't really have renderings of what things look like other than those kind of straight on frontal views in full color with the landscaping. And it would be useful for me to kind of see what things actually look like. I mean I can imagine there's a concrete thing there but I can't really see it. And what is the distance between those two close buildings?

Mr. De Mark: Did you say 12 feet?

Mr. Montgomery: We lost 12 feet, but we lost 12 feet.

Mr. McCutchen: I think actually we lost about 20 feet.

Mr. McCutchen: I think it's 28 and 29 feet. 28 feet between the back of those two-

Mr. Hauser: At the top there?

Mr. McCutchen: Yeah. It used to be 22 feet and we lost 10 feet from the room preservation, 10 on each side plus to from Vernon so 22 foot squeezes and that's where the space for our extra interior trees is looking squeezed.

Mr. De Mark: Right. But you got a flat surface versus this really tall cabin.

Mr. McCutchen: Basically maintain the same three counts before they were just literally-

Mr. De Mark: Personally I like it better that it's flat versus this sort of valley that we've created that was created previously. Does that make sense?

Mr. Hauser: Yep. I'm sorry. So it was about I think 25 to 28 feet between those two buildings to answer your question at the top. Yeah, I mean when I looked at it was like oh it looks about the size of the driveway. There's a car there and I was kind of moving, I was like wow, that's like-

Mr. Montgomery: The units are 20 foot modules so that gives you point reference 20.

Mr. De Mark: Twenty foot?

Mr. Montgomery: Yeah.

Mr. Hauser: Each plot is 20 feet. What do the people, the Litchfield on the far right, what do they see in their backyard?

Mr. Montgomery: They will have a concrete stoop or patio owned behind their home and then we'll have a privacy fence around their perimeter. City you know owns the property on the right. So eventually they would probably developing that just going to put a privacy or something.

Mr. Hauser: I'm just curious about what that fence look like?

Mr. Montgomery: McCutchen with McCutcheon Engineering.

Mr. De Mark: Thank you. Thoughts? Questions?

Ms. Lynch: My only question I think is, so we had the comments last time about the architecture, there's a lot going on. No changes to the elevations though. Do you feel pretty, you want to stay with the design?

Mr. Montgomery: These are plans that have been developed by design by the contractor. From the initial submission I made back in July to the submission we made in September, we did tweak the rear of to the Litchfield and added covered porch. And then when we came to the meeting in September, it was suggested that we do away with those and do all Litchfield in the interior. So that's why we did that.

If you remember the buildings on the right, those were actually going to be Winchester's and we changed it for y'all's recommendation to list field. And so to answer your question, yes, I mean we're trying to obviously keep costs and I know that's not y'all's problem but we're trying to maintain the design Dan Ryan built production to keep cost down as much as possible while did upgrade to Hardie. We did upgrade to metal roofs, brick things that they typically don't build.

Mr. De Mark: So Greg brings up a good point about some of those elevation sort of busts that where there's a brick column next to a wood taper column. Is that something you think?

Mr. Montgomery: I don't believe that's a condition we had in reality and I appreciate that this is a technical review and that is a rendering generated by Dan Ryan Homes. But I don't think that's a reality we are going to face. I will assure you we won't-

Mr. De Mark: You won't let that happen.

Mr. Montgomery: I'm not going to. If you go look at my first phase, we're trying to do the exact same thing.

Mr. De Mark: I understand.

Mr. Montgomery: And just for the record, I know Craig pointed out a concern he had about my first phase about the trees around the perimeter of the property. At the time when we had that approved, there were power lines all around perimeter of property. So we were forced to put in trees. Since those are no longer there, I have gone back in the last 30 days and placed all with perimeter trees. So, if you were to go look at the property you'd see that's the intention what I'm trying to do here to create really nice view here.

Mr. De Mark: Great, thank you very much for that. No other questions from the board?

Mr. Lewis: There is one other item in it. It's for sort of board consideration more than anything else. So there's one missing item in this application, which we have talked about with the applicant, it has elevations but it doesn't have any of the perspective drawings that we normally get where the buildings are drawn or there's a model drawn in the context of the street. So you can see how they sit in the street, you'll see several others. Actually all of our other applicants this evening will have one of those. This one does not. So it is a requirement of the code. I would ask if you want to move forward on this application, whether you move forward on a preliminary approval of the units or final, I would ask that you be intentional about waiving that requirement.

Ms. Lynch: This is preliminary approval though, right?

Mr. Lewis: Well, they had requested final approval of this.

Mr. Montgomery: And I like to point that I'm using the exact same format that I used in Phase I.

Mr. Lewis: And I made that same point in the Phase I. But again, it's from the DRB's perspective, it is a requirement. There's a reason why we have a requirement. Lucas raised the issue of it's sometimes tough to understand how buildings sit on the street. And so if you want to waive that and you feel like in this particular case it's important, then I would ask that you just include that as part of your motion to waive that requirement.

Ms. Lynch: It's because we don't have a perspective in context of the topography?

Mr. Lewis: Right. Normally, we'll say at the corner of Vernon and Milan, we might get a perspective drawing that would show how the units are happening, how the topography is working, making sure all the streets scape elements are all in place there and just get a better sense of, again, the units sitting relative to the context of the area. Another town home project

this evening they did submit their perspective drawings, you requested that additional information at the last meeting.

Mr. Hauser: I love seeing what things look like. I mean the Phase I, which is beautiful, does have a kind of homogeneity to it that, I mean I wasn't here on the board so I don't know but this one has so many different design features and elements that I'd be interested in seeing what things look like. Again, just one person, I don't really understand what the backs of some of these look like, but it feels like to see that fence and the back yard with some of those Litchfield really close to that fence.

Ms. Lynch: I think in general this is something that this comes up a lot and I make drawings for a living. They're not easy, they're not inexpensive to make. And I think we have to be able to understand drawings two dimensional a tope. We have to be able to understand what's being conveyed in the drawings even if we don't have a view of every single part of the project. And I know that that came up last month. But yeah, I think it would be nice if the elevations were showing us how the unit stepped down, but I don't think we can ask for every single perspective.

Mr. De Mark: John, question.

Mr. De Mark: Maybe David question is, since we've changed the site plan and you've changed the elevations slightly, are the buildings truly flat or do they step? They definitely step. They

Mr. McCutchen: Just like in first phase.

Mr. Montgomery: Just like in first phase.

Mr. McCutchen: Just like in first phase they step 8 to 12 inches. It got to be 20 feet. They definitely are not level.

Mr. De Mark: They are not all level, gotcha.

Mr. Montgomery: They're stepped much to the building

Mr. Montgomery: Yeah, I was going to say a lot but the buildings are alike.

Mr. McCutchen: The thick black line through these buildings make them step so builder would prefer me to have the model-

Mr. Montgomery: And you can see the FF four columns.

Mr. Montgomery: And you can see how these units sit above the street.

Mr. De Mark: Right. So the elevation that we saw that we were concerned about won't be this line of nine units in one big plank. It'll really be-

Mr. Montgomery: 1, 2, 3, 4, 5-

Mr. De Mark: Sort of stepping down like a-

Mr. Montgomery: Nine unit building on the north. We have 1, 2, 3, 4, 5 different steps.

Mr. De Mark: Yeah, gotcha.

Mr. McCutchen: It breaks up the roof line changing roof policies.

Mr. De Mark: Yep. Okay.

Ms. Lynch: This says that it's for preliminary conceptual approval.

Mr. De Mark: That's the original application.

Ms. Lynch: Oh is it?

Mr. De Mark: It's final in the agenda I think. Full and final improvement.

Ms. Lynch: Okay.

Public comment

Mr. De Mark: Okay. So public hearing. Is there anyone interested in speaking in favor of this project? Would you state your name and your address for us please?

Mr. William: Good evening. Michael Williamson, CEO of North Development Group. We're at 501 Howard Street Suite A. I just want to speak in support of this project. You've known John for a long time for Phase I and Phase II I think per the comments that were made. The last hearing were well received. We think John has put best to incorporate these comments and this plan. This isn't necessarily in your purview but we do need affordable housing. There is concern of this 25 percent before but we found out today that Phase I all of the affordable units in that development are already released. Good for those families we have to that are in need. So just wanted speak these words.

Mr. De Mark: Thank you. Any others in favor. Thank you sir. Would you introduce yourself?

Mr. Thomas: My name is Tony Thomas. And I live at 258 Fremont Avenue in the Northside Community where this project is. And yes, I'm speaking on behalf of North South Oranges, also work with the North South Development Group as well. And we've had some extensive conversation and engagement with Mr. Montgomery and his team and we're in agreement with this and we're pretty happy with what he's done. He's met with us on several occasions. We had some issues. When he met with us on several occasions we were very accommodating with the needs of our mission and vision for the Northside Community. And we stand in favor of this project.

Mr. De Mark: Great, thank you sir.

Mr. Thomas: Yes sir.

Mr. De Mark: Any others in favor seeing no others in favor, any opposed? Any opposed? Seeing no opposed I'm going to close the public hearing. Now we need to vote. I think the applicant has done what we asked them to do, which was to create a central sort of public space for the community. I think they've incorporated the sidewalks that we asked them to incorporate. They've added some trees on the front of the building that was not necessarily required but they added them nonetheless. I think this is a pretty good package and it's an extension of what was here that he started in Phase I. I think we should approve the full and final approval noting the exceptions that Craig raised. I think they have the raised entries. I don't know about the depth of the porch. I think we previously granted an exception to the depth of the porch.

Mr. Lewis: Not on this project.

Mr. Lewis: Not of this project but on a previous project.

Craig Lewis: Doing a project by project basis here.

Mr. De Mark: Okay. The garage five feet back, I think we have to bend on that a little. It's a town home. It's in somewhat of an urban setting. I get what Craig is saying as it relates to the Winchester units and the nine units across but I think that that is somewhat addressed with the stepping of the building and we're seeing this flat two dimensional image. The reality is that it's not flat, it's a stepping scenario.

On a Motion by Mr. De Mark seconded by Ms. Lynch approved for full and final plan.

There's going to be differences in that elevation that are not flat. And I do agree that we always like to see a perspective but I'm an architect by trade and I kind of have this vision in my head of what it's going to look like. So that was a really long winded way of saying I make a motion to approve full and final approval. Can I get a second?

Ms. Lynch: Second.

Attendees: All in favor say aye. Aye. All opposed?

Mr. Hauser: Nay.

Mr. De Mark: Nay. So we have two yeses and one no.

Mr. Hauser: If point of information I think it's very close and I would just love some more stipulations but I kind of mute my point right now.

Mr. De Mark: Okay, well thank you. Martin, can you introduce the next project?

The Design Review Board (DRB) has received a request for Preliminary conceptual approval of a buildings form, massing and placement on the site for a proposed residential development – Magnolia Street Townes located in the DT-5 District at 454 and 458 Magnolia Street (Tax Map Sheet: 7-12-05-276.00 and 7-12-05-277.00), from Owner: Ray and Elizabeth Billings, RBD Group Oz, LLC.

Martin: Mr. Chairman and members of the board. The designer of the board has received a request for a preliminary conceptual approval of building for mass placement of Northside Residential Development. Magnolia Street Towns located in DT-5 district at 454 and 458 Magnolia Street from owner Ray and Elizabeth Billings, RB Group oppose the NFC and the applicants are here to present as well.

Mr. De Mark: Great, thank you. Can you state your name and fill out that paper please? Thank you.

Ms. Billings: Elizabeth Billings.

Mr. De Mark: Thank you for coming.

Ms. Billings: Yes sir. First I'd like to start with thank you all for being very patient with us. We've asked a lot of questions and oftentimes tough questions but this has been a great opportunity for us to learn and grow as developers and you guys have provided some great feedback and I think that's evident in the plans that we have for you today. Before we start going through the plans, I would like to say that everything we do is keeping people first, which goes with what the City's motto is. Coming from public service in Parks and Recreation I understand the need for putting people first because at the end of the day it's people we're serving. So all of our plans are built around that concept and we'll jump into our presentation.

So this gives you perspective bird's eye view what is around our property. I think you guys are very well familiar given Phase I, Phase II, what is being built by our neighbors and this is our site layout. It's the aerial that shows our proposed town home development and how it lay with the current development that's behind us Phase I, Northside Towns. And they've been a great model for us to look at and to know what's been approved. So, that's been extremely helpful as well.

This is going a little more in depth with our site layout. It shows the Satera unit where it's going to be located and that's also going to be our green space for the community where we're going to have an opportunity for community members to socialize. We've talked about the possibility of a dog park or a hammock garden or something along those lines that gives community members an opportunity to get to know their neighbors and socialize, which is a vital importance and why I think most people choose to purchase a town home. I'd like to say that ours are single considered single family homes in the sense that we are selling the individual units to provide affordable housing for people to purchase a home and to have a place to live, work and play all in the same community.

So this is showing our existing conditions with the grade as well as some of the different aspects of the grade and community for what we're proposing. And you can tell that it is along the line. Magnolia and Raindrop trees, you guys are very well familiar. This is our third time being in front of you so I don't want to patronize anyone but you're very well familiar with the community and where we're talking about and this, I'm sorry my eyes are not what I used to so I'm having a hard time seeing exactly. Can you zoom in just a little bit please? Thank you.

I mean Martin, I'm sorry. So this is showing our grades on the current site and elevations that we're working with and our right of ways and all of the requirements that our civil engineer has

made sure we comply with. And this is our alley detail to show you the detail of what our allies are going to look like that also can conform with the city policies.

This is our landscape plan. So you'll see that we have multiple trees. I know there were some questions that we discussed. Craig had sent an email to clarify whether they were trees or if they were bushes, but the on Magnolia Street you'll see that they are trees, in fact flowering dog woods and a few different variations that are on the planting plan. We also have a few small bushes that are identified. There was one area that we could not put trees just because of the gas line that is underneath the surface. So we were not able to put a planting there. But other than that we were able to put plenty of trees and bushes and our planting plan is on the next page I do believe, which again my eyes are not so great.

So we've got flowering dogwoods, emerald green and high tower flowering dogwoods. And then our bushes are fragrant tea olive, Camille crimson fire loropetalum and compact Holly. Then there's a few other variations of mulch inside that's on the fencing ring as well. So this just shows you kind of a colored up version of what we were talking about, a little more aesthetically pleasing.

And then this is our architectural plans and you'll notice that we have perspective from alleyways and all of the street renderings as well as that was a requirement that we had to change with our architect three times. So this is Magnolia on the Raindrop Street and then Milan Street elevations, Raindrop Street elevation and Magnolia Street elevations.

So we are proposing to build three bedrooms two and a half bathrooms. We do have the rear loading garages as well. It'll be a two car garage that is rear loading. And the fourth floor will be an open area that is essentially for if you wanted to have a garden space or have your own private outdoor space because we are very limited, it's only 0.58 acres in total. So we wanted to give people not only a place to socialize communally but also to have a place to be able to be outside and if they wanted to have a private moment or a garden space on the rooftop. So this is unit one exterior elevation. So all of our elevations do show the proper number of town homes per what the plan is calling for and Ray if you want to speak to anything specific on this feel free.

Ray Billings: Ray Billings, RBD Group. I am only going to mention one. Go back to take one of the questions you guys had last. The colored elevation of along Magnolia. You guys wanted to see that with the step downs on the street perspective and that's got that now and the way my architect, the way we ended up. So everything kind of set down is we've created a different height on the first floor that way whereas you might start up here with nine-foot ceilings, they may 12 foot on the end here. So the window's coming out, everything. It doesn't like it's stepped but it falls a very as it should. I think we achieved the step ups, the height, border and steps.

Ms. Billings: So here we have our rear elevations and again it's showing elevations from all sides of the development with we have the architect go back and label all the materials. I know that's a question that we had last month as well. So we wanted to make sure to accommodate all the questions and be able to provide you with a complete project that we answered all of your questions. And again, we appreciate your guidance throughout the process. Building departments is a little different than town home so we certainly do appreciate all the guidance that we can get from the board. And this is showing the two unit floor plans and as well as the roof plan sheets.

So again, this is the exterior elevations of the two units. Okay. Do you want to speak to how the unit right down is onto the side bends or?

Mr. Billings: Yeah, I mean the two unit facing the lawn, the single unit would face front drive, and then two 48 villas face Magnolia. Pretty much once you've seen them, other than just stand alone put together, they're on the same floor plan.

Ms. Billings: Yes. It's 11 units so no need for a variation of floor plans. So we have the same floor plan for all 11 units and this is showing the fourth unit floor plan for Magnolia.

Mr. Billings: The only thing would change would basically be along Magnolia the single heights of the first floor for that elevation that we're planning.

Ms. Billings: And again this is rear elevations, right side elevations for the four units as well as front and left elevations. It also has our lighting pictures that was a comment that we had last month and we wanted to make to come back that as well and show the lighting pictures so we are closing the floor plans.

Mr. Billings: We also had something that really we noticed that was on the checklist, but I don't think anybody brought it up, it we'll be on the left side elevation, our signage will be on building as it's on an apartment down there. So we'll do a vertical sign cause we're limited our space on sign anywhere.

Ms. Billings: Yeah, we want to do something very simple and elegant but for community members to be able to easily identify the community but something that went with the project in that was also already approved in Ellington. There's a standard guess keep it simple and I'll leave the S for imagination. We're trying to keep it as simple as possible and answer all the questions.

Mr. Billings: It's just the long put away that show small clusters in the same way of firewalls and everything else.

Ms. Billings: I believe that was requirement that was asked of us to provide the interior wall design. So that is what this slide is.

And finally we have our material list of everything that we are planning on utilizing. The color we've kept pretty simple. I know we had some comments regarding the previous design. It's a little bit busy so we came back with a little bit more of a simplified but elegant site color selection and material selection. Our goal though is to provide something that was sustainable, something that our community members that purchased do not have a ton of upkeep or the possibility of it looking back 10, 15, 20 years from now. We wanted to build a product that was going to sustain the test of time. So essentially that was why we selected the materials we did and simplified everything based upon the DRB's recommendations last month.

Mr. De Mark: Great. Craig.

Mr. Lewis: So thank you to the applicants for submitting a very complete package. I think it's helpful. It's helpful not just for the board, not all the board members are trained designers but it's also helpful I think for the applicants to, you often see where mistakes show up when you have

multiple views of things. And so I think it's good to have a couple different shots and take a look at it. So thank you for pulling together the complete package. They did submit this for preliminary approval but I think that they probably at a stage to be able to issue a final approval, especially considering the level of detail from the previous application. Not against that, but this is obviously clearly much more on that side of it. So I think you've set the standard for this evening. They made several significant changes from the last application.

I think all for the better it is a very simple design. I think again we talked about this simplifying things nice and easy, makes it a whole lot better. And the only comment that I had was more than anything else is from a constructability standpoint was use of the vertical board. On the side, there's a lot of it. it's something that's in vogue right now but I've seen several situations where the vertical board is not wearing as well.

It has to do with constructability and how it's installed and particularly at the base level where it's hitting, because it'll weep water up on the bottom parts of it. So I would encourage you to think about that and how that hits the brick more than anything else. So it's more of a comment you take it for what it's worth.

Mr. Billings: Well, I was just going to speak on that. I've worked with my guys a lot on doing Hardie, the board and Batten and if it's flashed correctly it won't be a problem. A lot of times I know what you're talking about cause I've had it not done directly and believe in my guys definitely know you they do the Z flashing and the step flashing where it needs to be and those transitions exactly what you're talking about.

Mr. Lewis: Obviously. Yeah, we see a lot of materials that are used in ways that were not traditional because we have adapted materials for more modern use. But there's still reasons why we constructed buildings the way we did and we use configured materials the way we did because mostly because they shed water. We constructed roofs the way because they shed water really quick. We put buildings together cause they shed water and kept it insulated.

So when you have a modern adjustment to that, that's just something you need to think about. So glad it's top of mind on. It's definitely an issue. I was just, where was I? I was walking around yesterday in a very expensive part of Charlotte and someone had installed vertical board and there was already wood rot after a year. So these were million plus dollar homes. I would be rather put out by that. So I recommend final approval based on what they've submitted. I don't have any comments of note. I think that they've addressed all of the specific issues that we asked of them at the previous meeting.

Ms. Lynch: I agree. I appreciate how thorough the package is and I think I like the simplifications that you did and I think we should approve final.

Mr. De Mark: Craig, when he says he's going to make the front higher than the back, higher across the front, how does the back work?

Mr. Lewis: Slope on the driveway.

Mr. De Mark: So the driveway's going to be sloped up three feet, little?

Mr. Lewis: Two.

Mr. De Mark: Two Feet. Okay. But the ceiling height wouldn't change. Okay. I'm sorry, those want to speak in favor? State your name and sign that little piece of paper for us please.

Public Comment

Mr. Sykes: Steven Sykes. Yeah, I want primarily speak in favor. I think I saw from the first iteration they've done a really great job updating it really nice. I just had one small concern on the site plan and sidewalks. I'd like to see be diagonal at the corners because people traveling along, walking along Magnolia as it is set up right now, it's like a hard 90 degree, like eight or 10 foot 90 degree turn and then goes back to straight and that's awkward for the pedestrian and people are either going to just trample down the grass anyway or it just seems like it would be natural to have a diagonal there to create a smoother pedestrian for Magnolia.

You wouldn't make a road that had 100 percent 90 degree turn on it. Be smooth. You've got to think about the same thing with pedestrian circulation. Very minor but it's important to people who are walking on the street.

Mr. De Mark: Thank you sir.

Mr. Lewis: Just since you brought it up. So, along Magnolia, many of y'all remember we established a specific section along Magnolia. So they've reserved space for on street parking should that get installed along Magnolia so that's why that is.

Mr. De Mark: That explains.

Mr. Lewis: Yeah, it's the same thing we did with the Ellington.

Mr. De Mark: Okay. But they'll have to have the standard ADA current. Do you want to come and speak? No, no. There was a gentleman behind you there. State your name and then just fill out paperwork right there.

Fabian Mata: Hi, there. My name's Fabian Mata. I'm a local restaurateur and I've seen Ray's work before and I just feel like it's a great project, especially given locals opportunity to buy a house here in town.

Mr. De Mark: Great. Thank you sir. Anybody opposed? Hold on. Thank you sir. Sir, will you step up?

Mr. Thomas: Thank you once again.

Mr. De Mark: Just state your name one more time.

Mr. Thomas: My name is Tony Thomas. I live at 258 Fremont Avenue in the Northside community where this project's supposed to be built. So we know that there's no requirement of the city or maybe this board that there be any community engagement concerning these buildings and these projects, but we were hoping that since the last time that Mr. and Miss Billings came

here with their RBD group, that they would have engaged the community at some point on this project. And today they have not. So we've been working for 12 years in the Northside. Northside Voyagers, myself and a lot of our other partners have been working 12 years in the Northside community diligently with partners to see that we get the outcomes that we desire for our community. They're in our footprint, our 400 acre footprint. And they have not, like I said, they have not engaged this community at all.

Mrs. Billings spoke of people and engaging people and she wanted to serve people, but I want to know who those people are cause we have a very thriving community in the Northside and to this day they have not engaged the neighborhood association or the Northside Voyagers in this case. They did reach out to the CEO of the Northside Development Group and they were informed that they should speak with the Northside Voyagers or the community about this project. They have not done it. So my concerns are that we have outcomes, we have a mission and a vision for the Northside Community, and we don't really know one way or the other about this project. We don't know the ratio affordable to market rate, whether it's all market rate, but what the components are. We have no idea.

On a Motion by Mr. De Mark seconded by Mr. Hauser approved for full and final plan by 3 to 0.

The Design Review Board (DRB) has received a request for Full and Final Approval for a proposed commercial rehabilitation and expansion located in the DT-5 District at 500 E. Main Street (Tax Map Sheet: 7-12-11-085.00), from Owner: Lamar Holdings, LLC / Applicant: Lucy Lynch, Lucy Lynch Architects.

On a Motion by Mr. De Mark seconded by Mr. Hauser tabled for next month's meeting for discussion by 2 to 0.

The Liberty Development located in the DT-5 District at 186 N. Liberty Street (Tax Map Sheet: 7-12-06-085.03), from Owner/Applicant: Jay Blanton, Insite Properties / Agent: Michael Judice, McMillan Pazdan Smith.

On a Motion by Mr. De Mark seconded by Ms. Lynch approved with condition for sidewalks, streetscapes and tree wales clear sidewalks by 3 to 0.

Meeting Adjourned

Mr. Hauser: Motion

Mr. De Mark: Second

Adjourn meeting at 7:52 PM

Kevin DeMark, Chairman

Meeting Minutes of the Design Review Board (DRB)
Tuesday, November 22nd, 2022 at 5:30 PM
City Council Chambers

The Design Review Board (DRB) via Zoom on Tuesday, November 22nd, 2022 at 5:30pm. The following Board Members were in attendance: **Kevin De Mark, Lauren Rogers, Tori Wallace-Babcock, Lucy Lynch and Lukas Hauser**. Representing the City of Spartanburg's Planning Department was **Martin Livingston, Community Development Director; Nan Zhou, Planner I**. Also attending was **Craig Lewis, the City's Design Consultant**.

Meeting Called to Order:

Mr. De Mar: Okay, great. I'm going to call the meeting to order, Tuesday, November 22nd, 2022 at 5:30 PM, via Zoom. This is the design review board for the City of Spartanburg. Can I get a roll call of each board member?

Roll Call:

Ms. Rogers: Lauren Rogers

Ms. Babcock: Tori Wallace Babcock

Mr. DeMark: Kevin De Mark

Ms. Lynch

Mr. Hauser

Mr. De Mark. I just got an email from Lucas that says somehow he missed the Zoom link. Can we send that to him real quick?

Mr. Livingston: Who missed the Zoom? Lucas?

Mr. DeMark: Lucas, yes.

Mr. Livingston: Okay. All right, I'll send it to him.

Mr. DeMark: Okay, great. Do you want to hold up? We have enough for quorum, so I think we can continue to move forward if you're okay with that.

Mr. Livingston: Yes.

Ms. Lynch: He heard the presentation last time, too.

Mr. DeMark: True. Per the Freedom of Information Act, public notice of the Design Review Board meeting has been published, posted and mailed in compliance with the Freedom of Information Act and the requirements of the City of Spartanburg Zoning Ordinance. I would like to ask for an approval of the agenda. Can I get a second?

Approval of Agenda for tonight's meeting on Tuesday, November 22nd , 2022:

On a motion by Mr. De Mark and second by Ms. Rogers, the agenda was approved by a vote of 5 to 0

Mr. DeMark: I would like to ask for approval for agenda.

Ms. Rogers: Second.

Mr. DeMark: All in favor say aye.

Attendees: Aye.

Old Business: None.

Mr. DeMark: No old business. Martin, do you want to introduce the new business?

The Design Review Board (DRB) has received a request for Full and Final Approval for a proposed commercial rehabilitation and expansion located in the DT-5 District at 500 E. Main Street (Tax Map Sheet: 7-12-11-085.00), from Owner: Lamar Holdings, LLC / Applicant: Lucy Lynch, Lucy Lynch Architects.

Mr. Livingston: Mr. Chairman, we have a case, our review board case, for property located at 500 East Main Street, Spartanburg. Lucy Lynch, Architect.

Ms. Lynch: Oh, okay. I will just run through these slides, the same thing as last time, and then we can talk about Craig's comments. You can go to the next slide, Martin. This project is at 500 East Main. It's intersection of East Main Street, St. John. Converse is up in the right hand corner. Bob's Car Wash is across the street. We're just east of the intersection at Pine Street. Next slide. That's the site probably familiar to people. The old Wild Birds Unlimited next door is now a bank. I can't remember the name of it.

Mr. Baehr: Southern Bank.

Ms. Lynch: Southern Bank. I always forget. Okay. Southern Bank. The next slide. These are some pictures of the existing building, from the street, and the addition is planned for this area off to the left where there used to be a small addition. Um next slide.

These are some historic pictures of the building. It was a Esso Station. It was built in the '50s, and you can see that little addition over to the left. The building looks a lot like it does now. Um next slide. Um Okay so you see the existing building here. The addition is in red, um and planted areas are shown in green. There are nine parking places, one handicap. Um there's an existing light pole and light down at the lower left, and there's an existing sign that the um owners tenant would like to continue using to keep that in use. Um and then the existing sidewalk along Main Street, you can see that on this drawing. Um next slide.

All right. The alright so the area that's shown in lighter gray off to the right is that existing building. This is going to be used as a salon, and so that's going to be the main part. Um and the addition to the left is going to be some support spaces, back of house treatment rooms. Um so since they're esthetician treatment rooms, they really don't want any daylight getting into those rooms, um which is why we're planning to have some window blanks. Um there's also going to be a secondary entrance exit um in this area. Ahh there's a condensing unit that's located in the

rear, that's already in a fenced off mechanical area. No dumpster, just a rollout trash can that's going to be kept somewhere off in that back right corner. So dumpster shouldn't be a concern. I think that was everything on here. The next slide.

The roof plan, it's a single slope roof which is what is existing. There's no mechanical equipment on the roof or anything like that. We're going to be sloping to a gutter and downspout at the rear, which is what the existing building does now. We're going to be tying in a new portion of the awning, to tie in with the existing awning. That's shown here. Next slide.

You can see the existing building to the right. The addition is over to the left, and that's going to be done and painted. It's all painted masonry. It's painted CMU and painted brick at the window blank areas. Storefront glass door, that will match the existing building. The window lengths are going to be fitted with headers so that if the use changes or if that little area becomes a separate unit, then those can be fitted with windows fairly easily. You can also see the pole sign in this drawing, that the owner would like to keep. It's down at the lower right, called out existing sign. Yep. Then there's a street light right there, too. Then as far as lighting, there's that street light there, and then there's going to be some new gas lanterns on the front elevation, that are called out near those doors.

One of the exceptions that we are looking for is to have the blank wall where the treatment rooms are. The area of concern is this area, the elevation where Martin has the cursor. The code says that blank wall can't exceed 20 feet. This is 20 feet nine inches, so we are almost allowed by code. We think since it's not a long expanse and it's set back from the street, we're hoping to get an exception on that. Next slide.

These are the materials, painted masonry, white to match the existing building. The existing building is made out of some cast metal panels over CMU. We thought this would coordinate with that. Next slide. These are just some details showing the window length detail and the headers that Lamar's going to have their ready to go for future windows. Next.

This is perspective. We really want the main historic part of the building to stand out and for this addition to be a support to that. There's a couple more perspectives here. You can see the sign. Then the last slide will show what we might be talking about next, which is this sidewalk condition. Lamar, I don't know if you want to add anything to that before we get into the comments.

Mr. Baehr: Yeah. Can everybody hear me?

Mr. DeMark: Yes, sir.

Mr. Baehr: Okay. Yeah. To add to what Lucy said, she mentioned that the building, the existing building, when it was built in the '50s has some really special-made steel panels that were custom made for this building. Then there is some exposed CMU block on the existing building. That's why we just thought we'd pull that over into the new 500 square foot edition, along that with some blank window panels that I think would aesthetically look good and then, of course, the same front door, 3070 front door that would match what's in the existing building right there. Which I have replaced. We've gotten a permit to do some renovations on the existing building, and my contractor and I just took it back to exactly really what it was back in the '50s and '60s, and early '70s, too. It's been a long time since. I don't know if there are any before pictures, but gosh, for 35 years now or so, it's been an ugly dog of a building. But I think it looks a lot better now, and we're looking forward to moving forward with the small expansion.

Mr. DeMark: Great. Thanks, Lamar. Craig, comments?

Mr. Lewis: Yes, sir. There are a couple of things. This is a nonconforming building in the downtown. There are certain things that, when nonconforming buildings come in, depending on what they're doing, they're expected to come into compliance with. If you're just reoccupying the building, usually it's just make sure the sign is in compliance and that's about it. As you expand and encroach outside the building, there are other things that come into play with that. With this particular one, there are several nonconforming issues about the site, and the sign is one of them. That's not the historic sign. There was a poll sign historically, but that's not the one. We don't allow poll signs anywhere else in the downtown, so they would be expected to move that down, make it a monument sign like all the other signs are permitted in town or just remove it all together. Their choice, either one.

The other one I think of particular note is with regard to the streetscape elements. We don't allow curb cuts along the primary streets if you can take it from the side streets. What I've recommended is actually eliminating the driveways from Main. There still seems to be sufficient maneuvering space within the site to be able to come off of the side street. That also allows them to pick up six or seven additional spaces on street along Main Street, by eliminating that. There's that benefit of additional parking spaces for everyone. It also eliminates driveways along Main Street where people are walking. That's, again, a reminder. We're focused on trying to improve the pedestrian environment along in downtown areas, and so driveways are one of those that we try to avoid as much as possible. That's often where pedestrians get hit because they're a blind spot as people are moving in and out with that.

Those are the big things. The side windows at 20 foot nine inches, it is just slightly over. I'd say that's exactly what this board is set up to do to provide an exception. It's just a little bit over, so I think that makes total sense to be able to provide that exception. From a design standpoint, I don't know that I would brick all of those in on both the front and the sides. I will leave it up to Lucy. It seems like when you brick in those spaces, it almost looks like it's either an afterthought or a mistake or both.

I would just defer to you to maybe think about that a little bit. You can still do block. You can use lighting. Is there a mural element? Are there other things that can be used? It's more of a design commentary than anything else. It's not a code issue. That's, I think, the long and short of it. The streetscape, there is overhead power along that section so street trees would be very hard to plant along there. It doesn't seem to be a lot of room. That would probably be an exception as well with that. I do recommend approval. I recommend approval with the closure of the driveways along Main Street.

Mr. DeMark: Okay. Thanks, Craig.

Mr. Lewis: Sure.

Mr. DeMark: Martin, I want to make sure I'm doing this right. Is there a need to open it up for a public discussion? Is there anyone here in favor, that would like to speak in favor of this project?

Public Comment

Mr. Livingston: We have Hope. I don't know if she wants ...

Mr. DeMark: To speak. Hope, do you want to say anything in favor? Or if not, against the project?

Ms. Tz Schmaltz: Can you hear me?

Mr. DeMark: I can, yes.

Ms. Tz Schmaltz: Okay. I don't know why it's not showing me, but wait a minute. Hold on. Okay, there we go.

Mr. DeMark: There you are.

Ms. Tz Schmaltz: There we are. Okay. I'm the commercial real estate agent that has the property to the right of this building. I have it listed for sale. I think it's a great idea. I think it's a nice improvement to the area, and I would hope that we would do the same thing as we move forward to the right of that building and make some improvements there as well.

Mr. DeMark: Okay, well great. Thank you.

Ms. Tz Schmaltz: You're welcome.

Mr. DeMark: Okay. Martin, is that the only other person on the line?

Mr. Livingston: Yes, Mr. Chairman, that's it.

Mr. DeMark: No one wants to speak against the project, because there's no other people here. Going to close the public hearing. The board, let's discuss if anyone has any questions of Craig or any thoughts about the design or wants to talk about the project.

Ms. Rogers: Craig, I have a question. This is Lauren. It's a two-part question. If I'm thinking about the right area, this used to be the Art Bar previously, and if so, wasn't there access from Main Street to the Art Bar from the street, so Mr. Baehr and his team wouldn't have to cut off access from there?

Mr. Lewis: They have existing access today from Main Street. If I'm understanding your question. There's two curb cuts that are there today. We do try to remove curb cuts along Main Street so they don't interfere with pedestrian traffic. Because, right now, there's essentially three curb cuts. There's two from Main Street and there's the third from the side street. Especially for such a small lot, you don't need three driveways. We are recommending eliminating curb cuts wherever we can along Main Street and in the downtown area. So we're recommending eliminating those two curb cuts.

Ms. Rogers: Okay.

Mr. Lewis: Again, by getting rid of those driveways, you also get the ability to be able to ... There's on-street parking in the next building down where Hope was just talking about. There's on-street parking for the rest of the block. It just ends there. We'd be able to extend it the rest of the way of the block.

Ms. Rogers: Understood. Thank you.

Mr. DeMark: Lucy, can you address, or Lamar can you address ... Is it your intent that all three of these remain open?

Mr. Baehr: My original thought was just ... I'm more of just focused on the building kind of fellow. I was just going to go with what was there already existing. But the more and more I've gotten into this with Lucy and we've looked at the site every which way and trying to design some parking for the tenant that's coming in there, I definitely would like to ... My thought was to put some of those planters out there that you do have a slide of. I don't know which slide it is. But my intention was to pack some of those up against the property line and the sidewalk, and close off one of those curb cuts. I'd like to try to keep one of them on Main Street and, of course, the one on Galbraith Street too. Would like to have that just for general flow. I think it's a very tight parking lot as is. Just knocking it down to just the entrance on Galbraith I think would ... I don't know. I would like to have at least one on Main and one on the Galbraith side. I'm fine with sitting down with my engineer to discuss possibly closing off one of them and seeing what that would look like on a piece of paper and making the decision from there.

The sidewalk .. I don't think this is the right committee to be talking to, but I need to communicate with someone in the city about the sidewalk along that whole area, even all the way down to the other buildings that I don't own. It's in pretty rough shape, and the curbs are in pretty rough shape too, right now. I think it needs to be brought to the city's attention.

Since we're talking about it, I really even want to talk to the city about making Galbraith Street a one-way street somehow. I just think it's pointless to have two-way traffic there. That street doesn't get used very much at all. It does provide ingress egress from what I call the Peddler Town Center area right there, that shopping center, just the lower parking lot. And it provides access to the new bank that's going to be next door. But I think that could all be done in a one-way situation. That way we could, myself, the bank, the two buildings behind, shown on the picture behind me, could have some on-street parking right there too, which I think would be great for employee parking and to serve the other buildings around mine.

Mr. DeMark: Okay.

Mr. Baehr: But I know that's not for this conversation.

Mr. DeMark: Yeah. I can't make that street in play.

Mr. Baehr: Right. I'll get ahold of Jay Squires about that-

Mr. DeMark: Okay.

Mr. DeMark: Tori, any thoughts?

Ms. Babcock: My initial thoughts, the building itself, I don't mind the expanse of the walls. The proportion of the big windows, the faux windows, that seem a little off to me with the rest of the building. We can argue whether or not they should actually have window panes in them, but just proportionally they seem very residential compared to the rest of the commercial building. That's one of my initial thoughts when looking at this, is there's no other windows on this building that are not full height. These just seem out of proportion with the existing building.

Mr. DeMark: I almost wonder if they could be spandrel glass and more like a commercial storefront or something like that versus a residential window. But-

Ms. Babcock: Yeah, I think that would be great. Just the proportion for that, for me at least, seemed a little odd. They were very square where everything else was very vertical and rectangular on the building. They just didn't correlate to any of the other heights, where the top came in or, in fact, they didn't go all the way down to that base.

Mr. DeMark: Martin, can you go back to the elevation just so we can see it in elevation? Cause the perspective was great, but it ... Yeah, that right there is sort of helpful.

Mr. Baehr: Would you be okay if we brought those, what we're considering an offset of the brick? Would it feel better if they were went down to the ground like the other windows?

Ms. Babcock To me, that would feel a lot better to bring those window sections down. You got the other ones down to the CMU, what I assume is that CMU base. To me, it makes sense to bring all these all the way down. I understand the whole concept of defining the old versus the new and the historic press is part of that, but it seems very different, especially when you have that awning ... I think it's a beautiful awning ... coming all the way across and attaching to this new section just to keep that same commercial feel.

Ms. Lynch: Martin, can you go to the elevation?

Ms. Babcock: Yeah.

Mr. DeMark: So you made that window-

Ms. Babcock: That's my thought process.

Mr. DeMark: I like the door as is. Is that what you're thinking? The width and the ... maybe not with the transom, but with the width of those panels that make up the curve. Is that what you're thinking?

Ms. Babcock : Yeah. I think those taller vertical, even just keeping those, that vertical proportion to them, that was my initial thought is that these just seem very square and just ... Maybe they're mirroring more of the big doors, but they

Ms. Lynch: Can I just jump in?

Ms. Babcock: Yeah, Lucy.

Mr. DeMark: Yeah.

Ms. Babcock: Go. Sorry.

Ms. Lynch: I'll just say what my response to this is. The addition is a different animal than the main part of the building is, different materials. It's different. We're not dealing with the same stuff. The use is different. We don't want to have huge pieces of glass. If they ever are windows, they should probably be operable, because they're probably offices or something. These are the same proportions as the garage door bays, and they're just meant to be punched openings. The top of the soldier course aligns with that line that goes across the top of that glass. I think bringing them to the floor is going to ... I don't know. I think that sounds ... I don't know. Lamar? I don't know what Lamar says.

Mr. Baehr: Yeah, I agree with you, Lucy. I personally like it. I think it's got a good feel to it and designed good. I think maybe what's throwing us, too, is that it's not actual glazing. It's not a window. We're showing it as a blank panel but with the square box outline. I think that's throwing us all. Of course, in person, it's all going to be painted the same, but for practical purposes of this drawing, it's shadow boxed a little bit. I think that's throwing everyone off.

Mr. DeMark: Are the windows the same size? They don't look like they're the same size in the drawing.

Mr. Baehr: They coincide with the garage door. If you scan to the right a little bit and see the fixed glass windows flanking the garage door, they're made to mimic that.

Mr. De Mark I got you.

Mr. DeMark: Craig, the windows aren't required, right? So in theory the windows, the whole facade could be blank with the exception of the door.

Ms. Lynch: Yeah.

Mr. DeMark: I mean Lucy, is that an option for you?

Ms. Lynch: Well I think we want to have the ability to put windows in later if they're needed.

Mr. Baehr: Not to throw a curveball at everybody, but Lucy and I ... which this is just for discussion. I did talk about putting some transom windows up there, just some small transoms to let some natural light in. But they're just, my tenant ... These are aesthetician rooms right here, and they really don't want any windows. I was fine with that, but they said, "If there is a window there, we'll just black it out from the inside." We're all very flexible with this. If I put a transom

window up there, it wouldn't be anything that's taller than about 18 inches, 16, 18 inches. It'd be a slither of glazing up there on each one. I'm still going to have a header in there, either way, just for future use like Lucy pointed out.

Mr. DeMark: I almost think that might be better than having that larger square look would. If it was just a transom to match the transom above the door, with the header, I think that works. Tori, what are your thought?

Ms. Babcock: I don't know. I'm having trouble visualizing that one. Sorry.

Mr. DeMark: Lucas? Lucas looks like he wants to say something.

Ms. Babcock: If somebody else wants to comment on it, go for it.

Mr. Baehr: Just visualize the-

Ms. Lynch: Does a lone transom window ever really look good though? Does anyone really like that look? I don't-

Mr. Hauser: A low transom window?

Ms. Lynch: A lone transom. A transom that's not actually a transom. It's not above anything. I don't-

Mr. DeMark: It's just a thin window.

Ms. Lynch: I don't know if that ever really looks good.

Mr. DeMark: Right.

Ms. Babcock: It's going to look like a bathroom.

Ms. Lynch: Yeah.

Mr. Hauser: I have one in my house. I can show a-

Ms. Lynch: You like it?

Mr. Hauser: I have a picture if you ever want to see it. I think Tori's thought ... There is this issue of the style, which is that ... yeah, it's supposed to blend in and recede, but it's also standing out with this residential language, the art deco streamline style of the original building. You have something that is older with these residential style and the flame lanterns. Yeah, it's just a little confused for me in terms of just the mixing, whether it's supposed to really stand out or whether it's supposed to be blending in. Could you have just commercial aluminum windows like the other windows but in a size that is in the transom style? I don't really have any interesting

thoughts on this other than I say I agree with Tori and Craig that there's something about the mixing of these two styles that needs to be resolved, I think, somehow.

But the one question I had is that there's a sidewalk behind this building, behind the addition, that will stop as it reaches the ... I'm looking at Google Maps' street view. There's also an addition behind this building, a brick wall. Is the size of this totally set in stone? Because the fact that this juts out beyond the brick addition behind this building and it interrupts the sidewalk between ... the sidewalk that's on Galbraith, I don't know if anyone has any thoughts on that. Is it not important to have Galbraith used as a street that one could walk, say, from the parking lot behind to this area? I wonder if it's theoretically tweakable or not.

Mr. De Mark I didn't think it cut the sidewalk off, does it?

Ms. Lynch: There is no sidewalk.

Mr. Baehr: It's on the other side of the street where the bank is.

Mr. Lewis: There's a small two and a half foot brick paved surface that's against the wall-

Mr. Lynch: Which is the outside wall.

Mr. Hauser: Yeah. That's maybe not an official sidewalk. Yeah.

Ms. Lynch: That's one their property.

Mr. Lewis: It's just against the one wall area, and then it disappears because it becomes parking lot behind it. Yeah, it's not a public sidewalk back there.

Me. DeMark: Okay.

Mr. Baehr: But there is one on the bank side, which goes all the way to St. John Street and then turns and goes to Pine Street.

Mr. DeMark: I'm sorry to bring this up again, but you all showed some planters that you want to put along the property line along the front. Where do those go?

Mr. Baehr: Just where I said earlier, just essentially where my property line hits the sidewalk. If we are to eliminate one of the curb cuts, I would do a long 16, 18 foot long planting like that, just for more landscaping and stuff like that.

Mr. DeMark: Which of the two would you be willing to give up?

Mr. Baehr: That's the \$64,000 question. My initial thought would be the center one, what I call the center of the three, near the existing stop light.

Mr. DeMark: The one closest to the street? The one closest to the street?

Mr. DeMark: Okay.

Mr. Baehr: Yes, sir. Yes, sir. But then maybe one could argue that if you got rid of the one closer to the buildings that I don't own, then maybe you could get a couple more parallel parks right there. I don't know. That's something that I would need to talk to Jay about.

Mr. DeMark: To me, that makes more sense because you could potentially get some parking, you could be nice with your neighbors, they would get some parking. Then the curb cut becomes really close to the turn.

Mr. DeMark: If you were- to the curb cut being there.

Mr. Baehr: Yeah. If you remember, my engineer happened to be in the meeting several weeks ago. He said none of this, parking lot, curb cuts, signage. Everything is out of compliance by today's standards.

Mr. DeMark: Yep. Okay, well we need to a decision, and we don't need to spend a whole lot more time on this, I don't think, unless someone is adamantly against it.

Ms. Lynch: I've got one more thing. I'm looking for a picture right now. Maybe we should have included this on the slides, but Lamar, the side that faces the mural, the side of the building that faces the mural, the side opposite what we're talking about, those windows, that side has three square windows, like what we're talking about.

Mr. Baehr: Yeah, that's right.

Ms. Lynch: I'm looking for a picture of it, that are up high.

Mr. Baehr: We can just make those ... I see where you're going with that, Lucy. We can proportion that with the new edition. That's no-

Ms. Lynch: I think they are.

Mr. Lewis: It's a square. Well, it's not quite a square next to the ground.

Mr. Baehr: I think they're 40. Yeah, they're 40 inches wide. Maybe these that we have drawn in, Lucy, are 48 wide. I'm not sure.

Ms. Lynch: Here they are.

Mr. Baehr: We can move them around however we want.

Ms. Lynch: You could do-

Mr. Baehr: I'm just really looking for ... I told Lucy this or last week. I said, me as a developer and property owner and landlord, I'm just trying to get permission. We can do a couple

stipulations, but I'm just trying to get permission to get a building permit, because I've got a timeline to meet with my tenant, to get her in there and open and operating and stuff. We can be contingent on the parking lot and this and that. If you guys work with me on that-

Mr. DeMark: Here's what I want to do, Lamar. I hear exactly what you're saying. I can't make a decision about the sidewalk and the parking and all that. The board can't really make a decision about how the road works. Right, Craig? We can say we would like you to remove both of the curb cuts, but you also have to be able to get into your site, and you have to be able to park it, and you have to be able to drive in and out of it. You don't want to create a bigger problem with people coming in and out of getting their hair done. I would love it if we could approve the building, the addition.

I think we kicked around the idea about these windows, and I get it. You're not going to put any windows there. I would love to understand the windows that are on the other side, if they're in proportion to what you have suggested or if we could make them in proportion with the other windows. I think that would be helpful. In general, I like everything else. I like that it connects the awning. I like that it makes it feel like it's part of the 1950's look with the white materials and the paint. There is the utilitarian effort that it's going to be a use that requires people to park. It is not the traditional building that you would want to see in a downtown urban environment, but this is the site as it is today. That's my 2 cents. Does anyone have any thoughts, anymore thoughts? Craig, you look like you want to say something.

Mr. Lewis: Again, because this is a non-conforming building, I think you need to be very clear if you're granting any exceptions to that, because you'll be setting precedent for other folks that have non-conforming buildings, whether you permit them to do that or not. Again, the two things I think that are before the board are ... well three things ... the windows which you've talked about, the sign which normally would be required to come down ... and we've required that of many other people ... and then whether the driveways get closed. This board absolutely can require that those driveways be closed as a condition of this approval, because it is an expansion of the building. That would be part of it. Again, there's 1, 2, 3, 4, 5, 6, 7, 8. There's eight parking spaces on site. You can get, I think, six or seven on street if you close those driveways. One could argue that if you include parking spaces along Galbraith, you could just sod the front yard and have a beautiful front yard and have all your parking on street. I'm not suggesting we do that. I'm just saying that that's ... In terms of the frontage along there, they actually would get more parking by closing those driveways, for their site. They're actually being hindered, and the maneuverability of those parking spaces is actually substandard that some of the maneuverability requires them to go onto a public sidewalk, which we shouldn't do anyway. That's why it's so beat up. Again, I think, if you want to go ahead and approve the building and set apart the site, and don't approve the site right now and ask for that to be brought to the next meeting, that certainly you could divide those two and do that, but it's up to you.

Mr. Hauser: I do want to just chime in and say that I understand the need for wanting access, easy access, but what an improvement this would be to that street to have a nice sidewalk, have those beautiful cool planters provide something for people to see as they're walking by, meaning it's an exciting improvement to ... potential improvement to the city, I think.

Mr. DeMark: Okay. I'd like to approve the building. I think we have to, unfortunately, ask you to change the sign, but I'm open to working with you on the number of curb cuts to keep vehicular

access to the existing parking lot. Does that sound like, Lucas and Tori and Lauren, something we can agree with or disagree with? I haven't heard a lot of feedback.

Ms. Babcock: I'm okay with that. We're approving. There's an exception required for the setback, which I don't have a problem with. This is an existing building. I think we have to take that in context of the existing building. The blank walls we have. Was there an issue on the blank wall on Galbraith?

Ms. Babcock: The Main Street elevation was not a problem, because it doesn't technically require anything.

Mr. DeMark: Correct.

Ms. Babcock: So ...

Mr. DeMark: Do you all feel that it's important to restrict vehicular access across from Main Street into the lot that's existing?

Ms. Babcock: I would like to see one closed, at minimum.

Mr. DeMark: Okay.

Ms. Babcock: I won't dictate which one that is. That will be probably a civil engineering a question but.

Mr. DeMark: Okay. Lauren, any thoughts?

Ms. Rogers: No. I'm in agreement. I will say, as far as the curb cut, one thing I have learned in traveling is that convenience is number one. I think if closing one curb cut, leaving the other two open, especially coming down Main Street, it gives you options. But to your recommendation, Kevin, I do feel good about approving the building and then having an open discussion about the site and what that would look like.

Mr. DeMark: Craig and Martin, here I'm going to throw out a motion here and see if it sticks to the wall. I would like to approve the building as is with the change, the only change required, to make sure that we're meeting the size of the window, the false window, to match the proportions of the windows that go along the side of the building that are up against the opposite of the mural. That's a lot of words. Sorry about that. Then I would like to say we have to get rid of the nonconforming sign. I'd like to say that one of the two existing curb cuts along Main has to be removed, but I'd like to table that until ... I think Seamon and Whiteside is your civil or David McCutchen is your civil.

Mr. Baehr: McCutchen.

On a Motion by Mr. De Mark seconded by Ms. Rogers approved the building as is with a change to windows to match proportions of the windows to go along with the opposite side of the building. To remove the nonconforming sign. One of the two curb cuts along Main has to be removed and table for next months meeting for McCutchen civil for full and final plan.

Mr. DeMark: McCutchen. If he could go back and make sure that he talks with whoever at the city, to determine which one is the best one to close from a vehicular access perspective. So as not to delay or get us past anything, if you could submit that after he's had a conversation, that'd be great. But I'd like to approve the existing building so you can get your construction started and your permit started and all that. Can I get a second on that?

Ms. Rogers: I second that.

Mr. DeMark: All in favor say aye.

Attendees: Aye.

Mr. DeMark: All opposed? Any abstentions?

Mr. Hauser: I was on mute when I said aye.

Mr. DeMark: Oh, I'm sorry. It's approved with those caveats.

Ms. Lynch: Sorry. Just to be clear, is one of those caveats that Lamar has to come back to talk about curb cuts or is that going to be staff review?

Mr. DeMark: I think that could be staff review.

Ms. Lynch: Okay.

Mr. DeMark: Martin, assuming you're okay with that as a staff review?

Mr. Livingston: Yes, we can discuss it with Jay Squires.

Mr. DeMark: Okay. I think you're approved, Lucy and Lamar.

Ms. Lynch: Great.

Mr. Baehr: Okay. Just a question. How tall is the monument sign? I don't know the requirements for that. I'd like to just know.

Mr. DeMark: Martin, can you get that over to them?

Mr. Livingston: Yes.

Mr. Lewis: Six feet.

Mr. DeMark: Six feet.

Mr. Baehr: And the width?

Mr. Lewis: It's 32 square feet total, I think.

Mr. Baehr: Okay.

Mr. DeMark: Does the streetlight have to go away, too? We didn't talk about that.

Mr. Lewis: That's public.

Mr. DeMark: Oh, it's public. Okay. Okay, great. Martin, I don't think there's any other business.

Mr. Livingston: No other business, Mr. Chairman. We do remind everyone that you are required to have your continuing education courses completed. We're checking with Appalachian Council of Governments to make sure that everyone has theirs.

Mr. DeMark: Martin, I have a question about that, if you don't mind.

Mr. Livingston: Sure.

Mr. DeMark: I want to clarify something, because maybe I missed it. Do I have to have classes every year?

Mr. Livingston: Every year after July 1st.

Mr. DeMark: How many hours?

Mr. Livingston: Three hours every year.

Mr. DeMark: Three hours every year.

Mr. Livingston: Once you leave-

Mr. DeMark: Can I apply other credits that I'm getting or it has to be specifically through the Appalachian Council?

Mr. Livingston: It does not have to be specifically through the Appalachian Council of Governments. If you have other credits, then you [inaudible]-

Mr. DeMark: I have an AIA credit for something I did. I can use that?

Mr. Livingston: Yeah, AIA or APA.

Mr. DeMark: Okay.

Mr. Livingston: Just need the specific

Mr. DeMark: Can I get motion to close the meeting?

Ms. Rogers: I motion to close the meeting.

Mr. DeMark: I second. All in favor say aye.

Attendees: Aye.

Mr. DeMark: The ayes have it. Thanks, everyone.

Adjourn meeting at 6:19 PM

Kevin DeMark, Chairman

PO Box 1749 • Spartanburg, SC 29304 • phone: (864) 596-2068 • email: planning@cityofspartanburg.org
website: www.cityofspartanburg.org

Design Review Board Application

Pre-Application Meeting highly recommended.

Name of Development: _____

Street Address: _____

Zoning District: _____ Overlay: _____ Tax Map Number: _____

Owner: _____ Phone: _____

Address: _____ Email: _____

City: _____ State: _____ Zip: _____

Applicant: _____ Phone: _____

Address: _____ Email: _____

City: _____ State: _____ Zip: _____

Agent: _____ Phone: _____

Address: _____ Email: _____

City: _____ State: _____ Zip: _____

Action Requested:

____ Preliminary conceptual approval of the building's form, massing, and placement on the site (see attached submittal checklist).

____ Full and Final Approval (see attached submittal checklist).

To the best of my knowledge, the information on this application and all additional documentation is true, factual and complete. I hereby agree to abide by all conditions of any approvals granted by the City of Spartanburg. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale. I hereby authorize the staff of the Planning Department to inspect the premises of the above-described property.

Applicant / Owner Signature: _____

Date: _____

Staff Use Only / Received by: _____

Date Received: _____

Time: _____

Permit Number: _____

PRELIMINARY REVIEW - REQUIRED DOCUMENTS		☒
Completed Design Review Board (DRB) Application Form		
Packaged PDF Documents (All documents to be submitted as a packaged PDF in 11X17 or 18X24 formats with consistent page sizes and scaled drawings with common increments)		
1. Existing Conditions Analysis		
a. Context Plan/Map (Identifying Site Context and Zoning District of Proposed Site)		
b. Aerial Image of Site/Context (Google Earth, ArcGIS or similar)		
c. Comprehensive Site Photos (showing adjacent buildings and area context)		
2. Site Plan (Schematic Level)		
a. Layout of all structures (showing north arrow, graphic drawing scale, cardinal directions, property lines, dimensions and adjacent streets labeled)		
b. Footprints of adjacent structures (if applicable)		
c. Site elements (including sidewalks, paths, and landscape areas)		
d. Parking and loading areas		
e. Conceptual site grading (indicating any expected retaining walls and stormwater management/site drainage features)		
f. Site Sections (as appropriate, to illustrate unique grade configurations)		
3. Elevations and Floor Plans for all buildings (Schematic Level)		
a. Proposed Finished Floor Elevation(s)		
b. Building Elevations (in color, with proposed material call-outs)		
c. Floor Plans		
d. Roof Plan		
e. Expected locations of mechanical equipment (ground and roof mounted)		
f. Material Selections and Colors (image and manufacturer product name/number)		
4. Perspective Illustrations (Minimum of 2)		
a. Proposed view on project side of street (including adjacent structures, as it would be seen at eye level by a pedestrian on a sidewalk abutting the property)		
b. Proposed view on opposite side of street (including adjacent structures, as it would be seen at eye level by a pedestrian on a sidewalk across the street from the property)		
c. A bird's eye view of the block bounded by the surrounding streets (as applicable)		
d. Additional renderings/views (recommended)		
5. Modification of Standards and/or Special Exceptions (if necessary)		
a. Description of Requested Modifications/Special Exceptions including a statement of the unique design considerations that contribute to this request and the proposed design solutions		
b. Additional drawings that depict the applicant's proposed design, configuration, or material modifications		

PRELIMINARY REVIEW SCHEDULE:

- Initial Package Submitted to City – 3 weeks prior to DRB meeting
- Review by Design Manager – 2 weeks prior to DRB Meeting
- Final Submission of Preliminary Design Package – 1 week prior to DRB Meeting
- Note: An additional meeting may be necessary for the DRB to consider any requested Modification of Standards or Special Exceptions.

FULL and FINAL REVIEW - REQUIRED DOCUMENTS		☒
Completed Design Review Board (DRB) Application Form		
Packaged PDF Documents (All documents to be submitted as a packaged PDF in 11X17 or 18X24 formats with consistent page sizes and scaled drawings with common increments)		
1. Existing Conditions Analysis		
a. Context Plan/Map (Identifying Site Context and Zoning District of Proposed Site)		
b. Aerial Image of Site/Context (Google Earth, ArcGIS or similar)		
c. Comprehensive Site Photos (showing adjacent buildings and area context)		
2. Site Plan (Construction Drawing Level)		
a. Layout of all structures (showing north arrow, graphic drawing scale, cardinal directions, property lines, dimensions and adjacent streets labeled)		
b. Footprints of adjacent structures (if applicable)		
c. Hardscape elements (including sidewalks, paths, and other paved surfaces)		
d. Landscape Plan (showing all required tree preservation, tree planting, screening, and foundation plantings)		
e. Site Lighting Plan (with locations and type of all proposed fixtures)		
f. Parking and Loading Areas		
g. Site Grading (indicating any retaining walls and stormwater management/site drainage features)		
h. Site Utilities and Solid Waste Management Plan		
i. Preliminary Plat (as appropriate)		
3. Elevations and Floor Plans for all buildings (Design Development or Construction Drawing Level)		
a. Building Elevations (in color, with proposed material call-outs)		
b. Floor Plans		
c. Roof Plan		
d. Locations of mechanical equipment (ground and roof mounted)		
e. Material selections (image and manufacturer product name/number)		
f. Building Lighting Plan (with locations and type of all proposed fixtures)		
g. Location of Signage		
h. Existing Grade and Proposed Grade (with finished floor elevations and building height, measured from the highest curb elevation adjacent to the site)		
i. Wall Sections that depict the various construction systems and materials specific to the proposed area of the building (i.e., not simply a "typical" wall section)		
j. Material Selections and Colors (image and manufacturer product name/number AND material sample/color board) for all exterior materials, finishes, windows, awnings/canopies, and fixtures		
4. Perspective Illustrations (Minimum of 2)		
a. Proposed view on project side of street (including adjacent structures, as it would be seen at eye level by a pedestrian on a sidewalk abutting the property)		
b. Proposed view on opposite side of street (including adjacent structures, as it would be seen at eye level by a pedestrian on a sidewalk across the street from the property)		
c. A bird's eye view of the block bounded by the surrounding streets (as applicable)		
d. Additional renderings/views (recommended)		

FINAL REVIEW SCHEDULE:

- Initial Package Submitted to City – 3 weeks prior to DRB meeting
- Review by Design Manager – 1 week

SUBJECT
DRB-151 South Church Street

TO
Members of the Spartanburg Design Review Board

DATE
7/26/2023

OUR REF
7-12-21-074.00

DEPARTMENT
Community Development

PROJECT NUMBER
10-210098.00

COPIES TO
City Staff

NAME
Craig Lewis, Urban Design Consultant
craig.lewis@arcadis.com

GENERAL PROJECT OVERVIEW

The proposed civic building expansion project is on a 4.99 acre parcel at the corner of Broad Street and South Church Street.

AUTHORITY

This project is zoned DT-6. Formal design review and approval by the Design Review Board is required.

Because of the unique characteristics of the Civic/Landmark Building, it shall be subject to Design Review in accordance with Section 2.4. As part of this review process, the applicant may request modifications from the applicable district standards. However, all such modifications shall otherwise conform to the general principles for Civic/Landmark buildings below:

- If indicated on the Downtown Master Plan, they must comply with the recommendations therein.
- They should be sited to terminate a street vista whenever possible and must incorporate appropriate prominent features, designs, and entrances to celebrate a visual termination.
- They should incorporate detailing and materials that are authentic to the intended style.
- A pedestrian plaza, courtyard, or similar landscaped area may be substituted for a required building frontage and minimum setback line.
- Building entrances for civic buildings may be raised above the street elevation and accessed via a monumental stair.
- They should respect the character of the fronting streets through the provision of a pedestrian-friendly orientation including clear entrances from the street and permeable street walls with adequate windows (no blank walls).

DETERMINATION OF COMPLETENESS

- Application complete

EXCEPTIONS

- 3.3.2.a Front Building Setback – Maximum setback of 6 ft – *Setbacks range from 7 ft 9 in to 35 ft*
 - *Approval Recommended: The proposed pedestrian plaza is consistent with Civic/Landmark building principles*
- 6.4.4.a Minimize Blank Walls – Expanses of blank walls may not exceed 20 feet in length – *Proposed blank wall along Broad Street is 28 ft*
 - *Conditional Approval Recommended: See our notes in the Additional Comments section*

- 6.4.4.c Transparency Zone – Glazing (transparent windows or doors) must extend at least 60% of the total façade width – *Proposed glazing along Broad Street is less than 60% (primarily due to the 28 ft blank wall)*
 - *Conditional Approval Recommended: See our notes in the Additional Comments section*
- 8.1 Streetscape – Minimum 16 ft zone with trees in wells – *Some existing sidewalk zones that would remain substandard along both Broad and Church*
 - *Modification Requested: See our notes in the Additional Comments section*

CODE REVIEW

A. **Use Standards:** The proposed use is permitted by right.

B. **District Standards:**

- **3.3.1 Lot Configuration:** *Compliant*
- **3.3.2 Primary Building Standards:** **Maximum setback of 6 ft is proposed to be exceeded**
- **3.3.4 Building Height:** *Compliant*
- **3.3.5 Permitted Parking Location:** *Not applicable*
- **3.3.6 Building Frontage:** *Shopfront - permitted*

C. **General Standards:**

- **4.1 Civic/Landmark Buildings:**
 - If indicated on the Downtown Master Plan, they must comply with the recommendations therein. – **Compliant**
 - They should be sited to terminate a street vista whenever possible and must incorporate appropriate prominent features, designs, and entrances to celebrate a visual termination. – **Compliant**
 - They should incorporate detailing and materials that are authentic to the intended style. – **Compliant**
 - A pedestrian plaza, courtyard, or similar landscaped area may be substituted for a required building frontage and minimum setback line. – **Compliant**
 - Building entrances for civic buildings may be raised above the street elevation and accessed via a monumental stair. – **Compliant**
 - They should respect the character of the fronting streets through the provision of a pedestrian-friendly orientation including clear entrances from the street and permeable street walls with adequate windows (no blank walls). – **Not Compliant on Broad Street frontage**

D. **Lot/Site Standards:**

- **5.1.1 Lot Frontage:** All lots must front on a street, square, or common open space. **Compliant**
- **5.1.2 Corner Lots:** Buildings located at street intersections must place the main building, or part of the building, at the corner. **Compliant**
- **5.1.3 Pedestrian Entries from Frontage Line:** Buildings must have their principal pedestrian entrances on a frontage line. **Compliant**

E. **Utilities and Trash Containment:**

- **5.2.1 Underground Utilities:** Compliance presumed
- **5.2.2 Solid Waste Storage Areas:** Compliance presumed
- **5.2.3 Mechanical and Utility Equipment:** *Compliant*

F. **Building Standards:**

- **6.1.1 General Design Principles - Connectivity:** Compliant with the exception of the blank wall that creates a visual gap along the street frontage.
- **6.1.1 General Design Principles - Downtown Should be Urban:** Compliant
- **6.1.5 General Design Principles - Put People First:** Streetscapes should be composed of wide sidewalks for walking, seating, public art, and landscaping. **Exception required - see additional comments**
- **6.2 Required Building Design Standards:**
 - **6.2.1 Architectural Style:** *Compliant*
 - **6.2.2 Compatibility:** *Compliant*
 - **6.2.3 Proportions:** *Compliant*
 - **6.2.4 Wall Materials:** *Compliant*
 - **6.2.5 Façade Treatment:** *Compliant*
 - **6.2.6 Building Entrances:** *Compliant*
- **6.4 Specific Building Design Standards for Mixed-Use and Commercial Buildings in D-T5**
 - **6.4.1 Roof and Eaves:** *Compliant*
 - **6.4.2 Canopies/Awnings:** *Compliant*
 - **6.4.3 Encroachments:** *Compliant*
 - **6.4.4 Ground Level Detailing**
 - **a. Minimize Blank Walls:** Expanses of blank walls may not exceed 20 feet in length. (A “blank wall” is a facade that does not contain transparent windows or doors.) - **Exception required - see additional comments**
 - **c. Transparency Zone:** Glazing must extend from the corner of the front facade for a depth equal to 60% of the length of the building **Exception required - see additional comments**
 - **6.4.5 Materials:** *Compliant*

G. Parking:

- **Not Applicable**

H. Streetscape and Site Landscaping:

- **8.1 Required Streetscape:** 16 ft streetscape zone with a minimum 16 ft sidewalk and trees planted in wells consistent with downtown standards (40 ft on-center). **Exception required - see additional comments**

I. Signage: Not applicable.

ADDITIONAL COMMENTS AND SUGGESTIONS FOR BOARD CONSIDERATION

- **Blank Wall Condition along Broad Street:** The proposed 28-foot-wide blank wall along Broad Street contains a stairwell for emergency egress. In addition, this element is the closest point of the building to the public sidewalk. As a result, it presents a less than desirable frontage for pedestrian activity. We strongly recommend consideration of one or more of the following techniques to break up the dullness of the overall wall.
 - Windows in the stairwell (presumably fire-rated) – an irregular pattern combined with LED backlighting could make for a very interesting public art element
 - Brick recess element
 - Signage structure on which banners advertising library or community events can be hung
 - A vegetative element such as a green screen (vines trained to grow up the wall) or some foundation plantings
 - A public art component (e.g., applied sculpture, lighting, mural, video wall)
- **Substandard Streetscape along Broad Street and Church Street:** The code calls for a 16-foot-wide streetscape zone in the DT-6 zone to support a comfortable, pedestrian-first experience in the downtown. The current streetscape along many street frontages was based on existing right-of-way which has left

some substandard conditions. To rectify this and continue to upgrade the downtown for the future, we have required all applicants who are doing major expansions or new construction to upgrade their frontage as well.

For this application, there are two locations where the proposed improvements should be modified to better accommodate the preferred end state.

- The existing sidewalk along Broad Street is substandard and is really a bare minimum passageway (4 foot clear). At a minimum we recommend that the proposed retaining wall be pulled back by four feet to permit a 12-foot minimum streetscape section along Broad Street. The balance of the sidewalk zone could be along the building edge.
- There is a small pinch point to the north of the bus turnout where the sidewalk narrows to 5'2". We recommend pulling back the retaining wall slightly to maintain a consistent 6 ft clear sidewalk.

RECOMMENDATION

We recommend preliminary approval conditioned on the modifications noted above.

Craig Lewis, FAICP, LEED AP, CNU-A
Phone: 704-609-9841
craig.lewis@arcadis.com

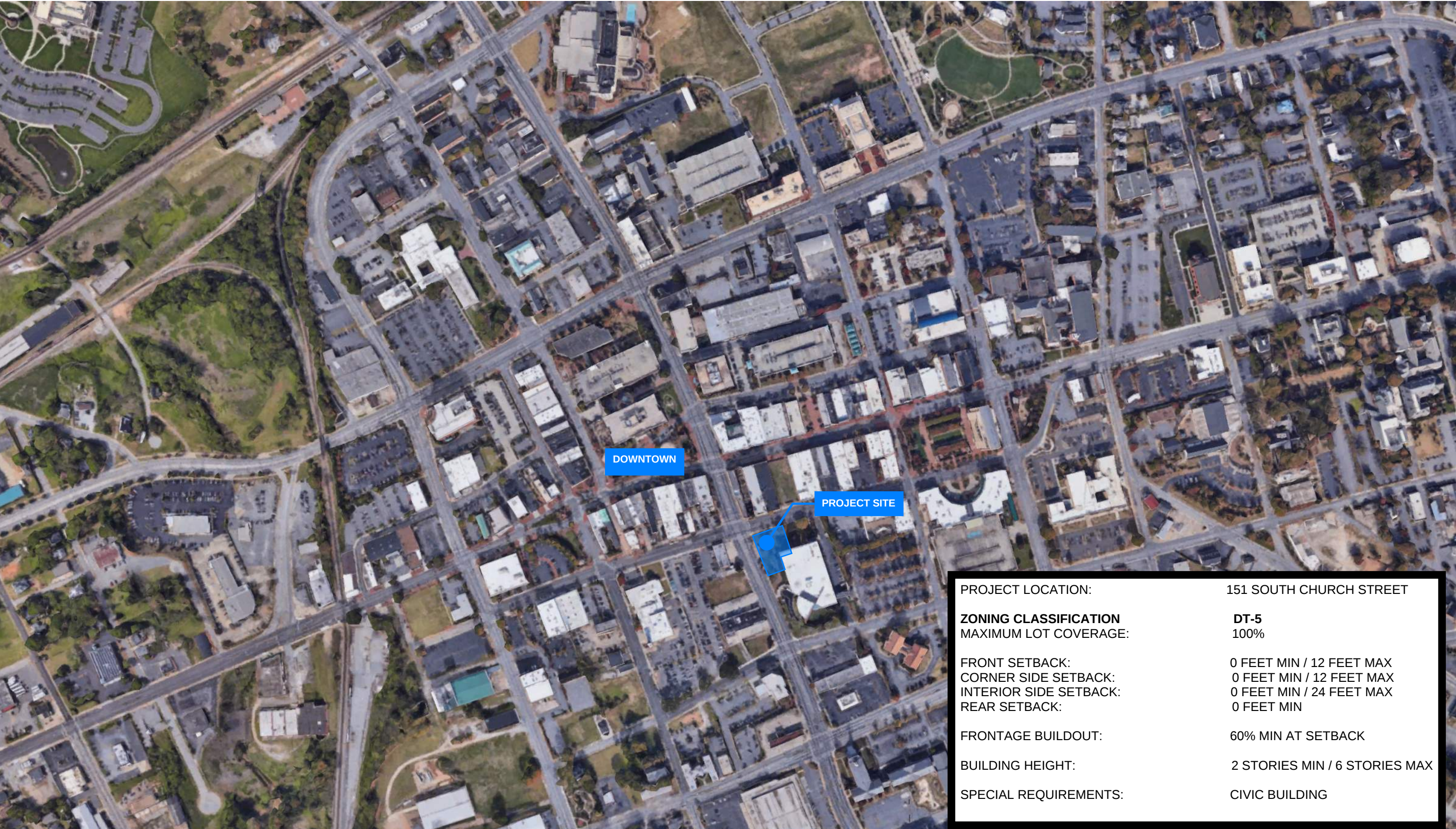


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architecture

PLANETARIUM EXPANSION AND LEARNING CENTER

SPARTANBURG, SC

06/06/2023
Page 45 of 69



PROJECT LOCATION:	151 SOUTH CHURCH STREET
ZONING CLASSIFICATION	DT-5
MAXIMUM LOT COVERAGE:	100%
FRONT SETBACK:	0 FEET MIN / 12 FEET MAX
CORNER SIDE SETBACK:	0 FEET MIN / 12 FEET MAX
INTERIOR SIDE SETBACK:	0 FEET MIN / 24 FEET MAX
REAR SETBACK:	0 FEET MIN
FRONTAGE BUILDOUT:	60% MIN AT SETBACK
BUILDING HEIGHT:	2 STORIES MIN / 6 STORIES MAX
SPECIAL REQUIREMENTS:	CIVIC BUILDING





PROJECT LOCATION:	151 SOUTH CHURCH STREET
ZONING CLASSIFICATION	DT-5
MAXIMUM LOT COVERAGE:	100%
FRONT SETBACK:	0 FEET MIN / 12 FEET MAX
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REAR SETBACK:	0 FEET MIN
FRONTAGE BUILDOUT:	60% MIN AT SETBACK
BUILDING HEIGHT:	2 STORIES MIN / 6 STORIES MAX
SPECIAL REQUIREMENTS:	CIVIC BUILDING





PROJECT SITE (ON RIGHT) LOOKING EAST DOWN BROAD STREET



PROJECT SITE (ON LEFT) LOOKING SOUTH DOWN CHURCH STREET



BROAD STREET CONTEXT



BROAD STREET CONTEXT



BROAD STREET CONTEXT



BROAD STREET CONTEXT

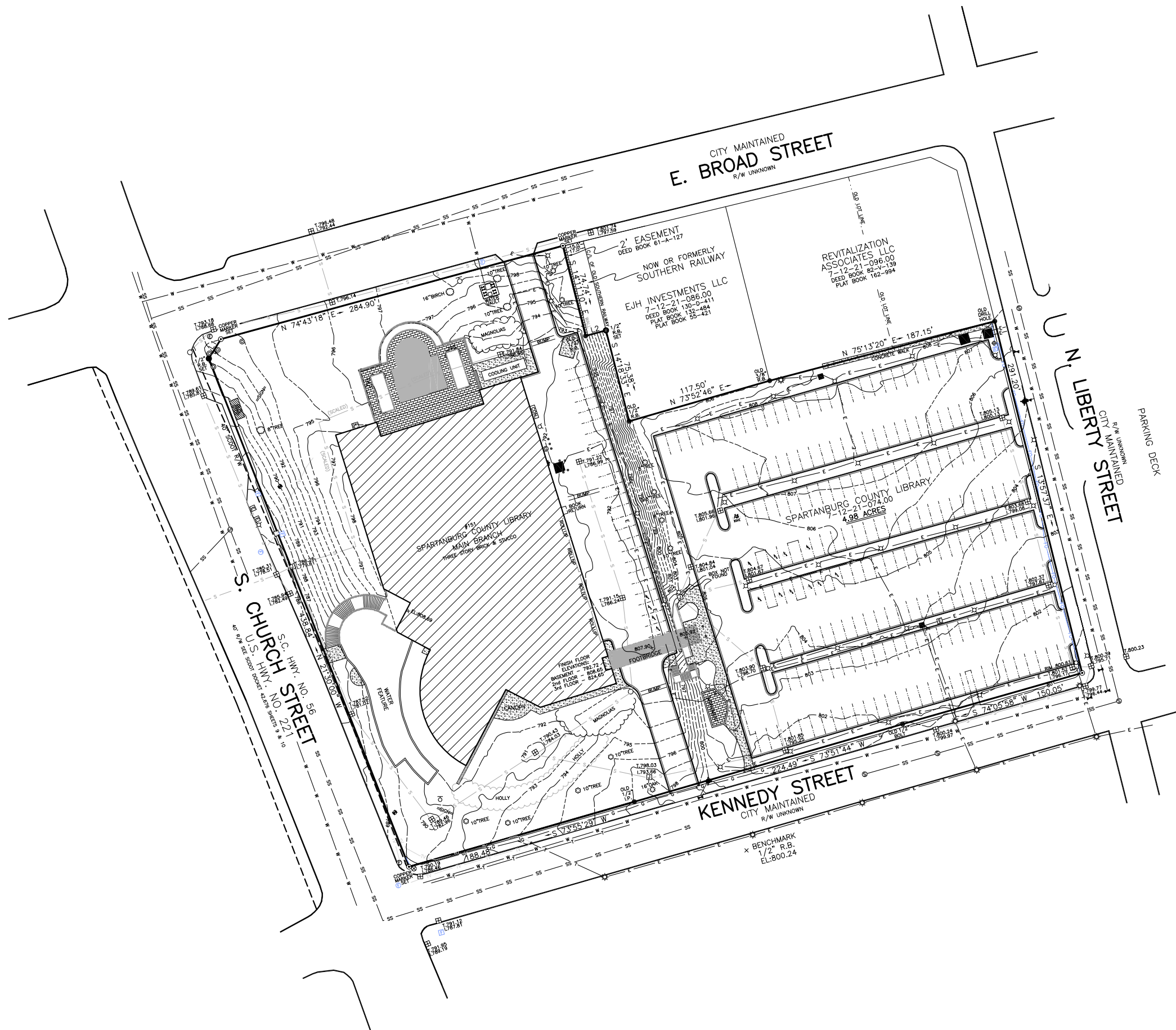


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PLANETARIUM EXPANSION AND LEARNING CENTER

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06/06/2023
Page 49 of 69



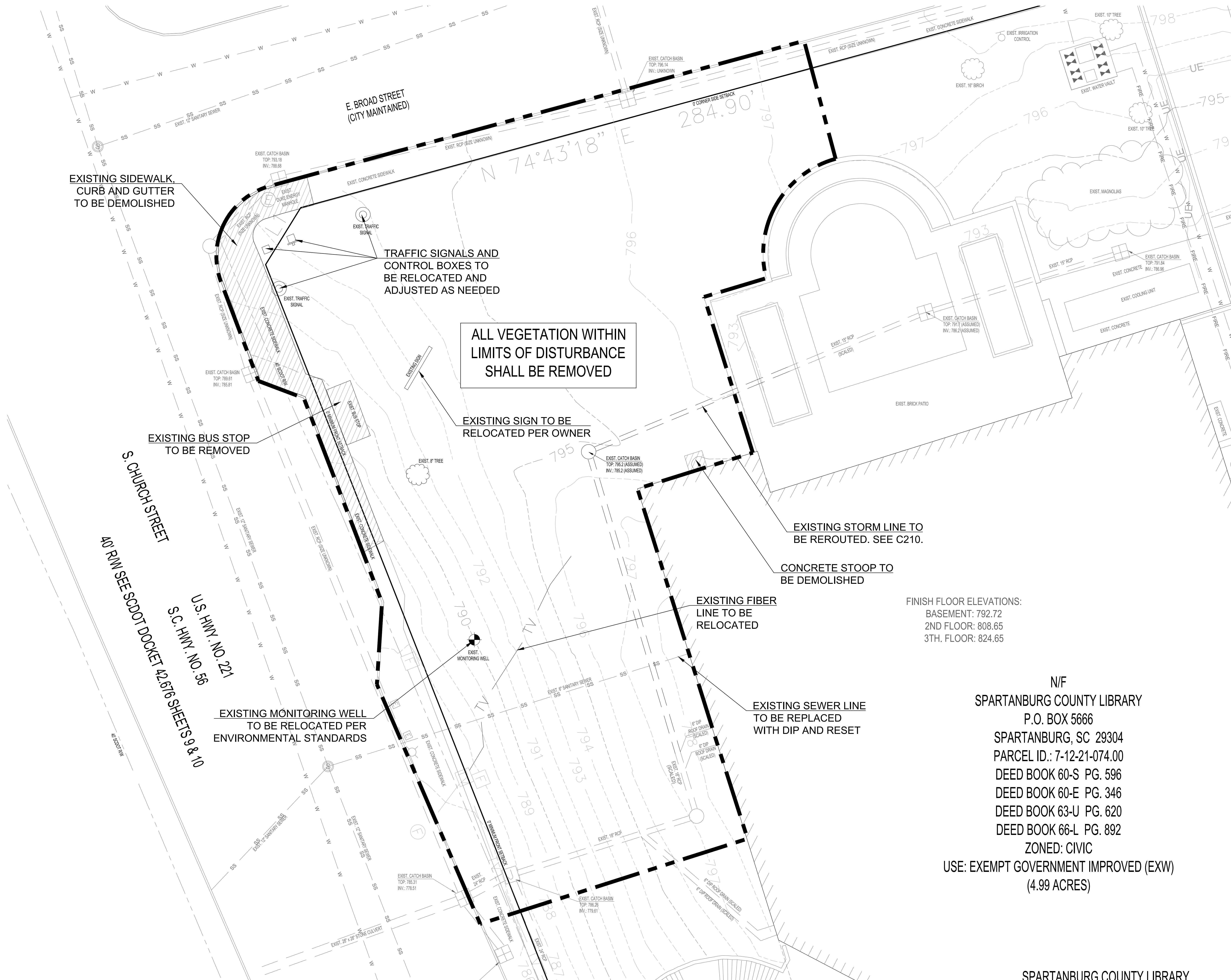
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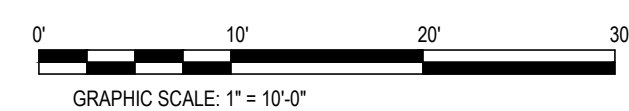
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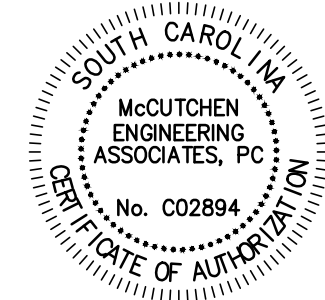
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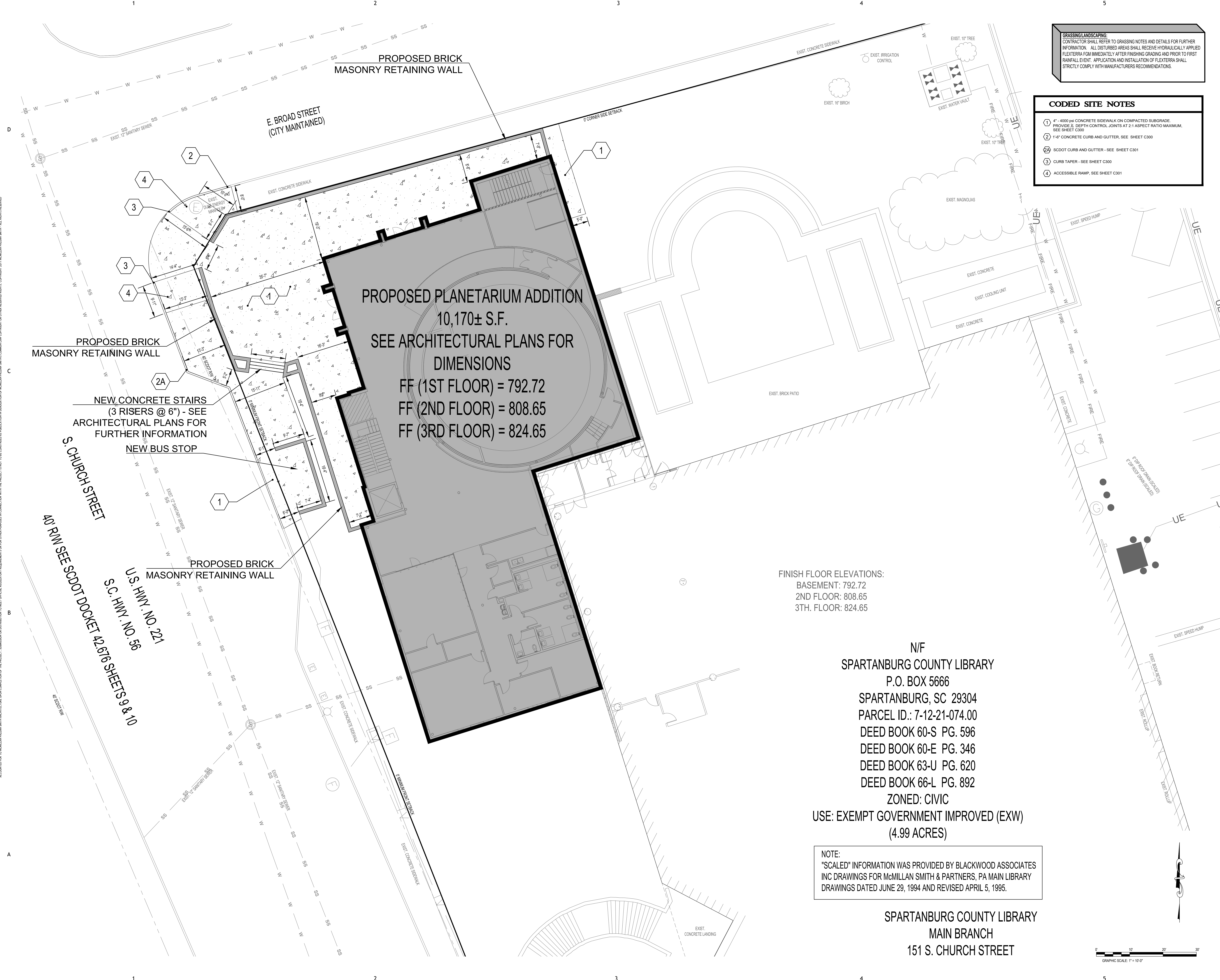
SHEET ISSUE:		DESCRIPTION	BY
NO.	DATE		
A	05.16.23	PRELIMINARY DRB SUBMITTAL	JDM

PRINCIPAL IN CHARGE: JDM
PROJECT ARCHITECT: N/A
DRAWN BY: WGW

SHEET TITLE:
**EXISTING
CONDITIONS AND
DEMOLITION PLAN**
SHEET NO. PROJ. NO.
2205.004

D110

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INFORMATION. ALL DISTURBED AREAS SHALL RECEIVE HYDRAULICALLY APPLIED
FLEXITERRA FGM IMMEDIATELY AFTER FINISHING GRADING AND PRIOR TO FIRST
RAINFALL EVENT. APPLICATION AND INSTALLATION OF FLEXITERRA SHALL
STRICTLY COMPLY WITH MANUFACTURERS RECOMMENDATIONS.

- CODED SITE NOTES**
- ① 4" - 4000 psi CONCRETE SIDEWALK ON COMPACTED SUBGRADE.
PROVIDE 1/2" DEPTH CONTROL JOINTS AT 2:1 ASPECT RATIO MAXIMUM.
SEE SHEET C300
 - ② 1'-6" CONCRETE CURB AND GUTTER. SEE SHEET C300
 - ②A SCDOT CURB AND GUTTER - SEE SHEET C301
 - ③ CURB TAPER - SEE SHEET C300
 - ④ ACCESSIBLE RAMP. SEE SHEET C301

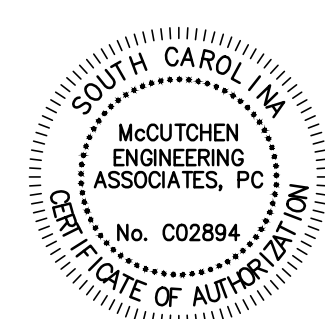
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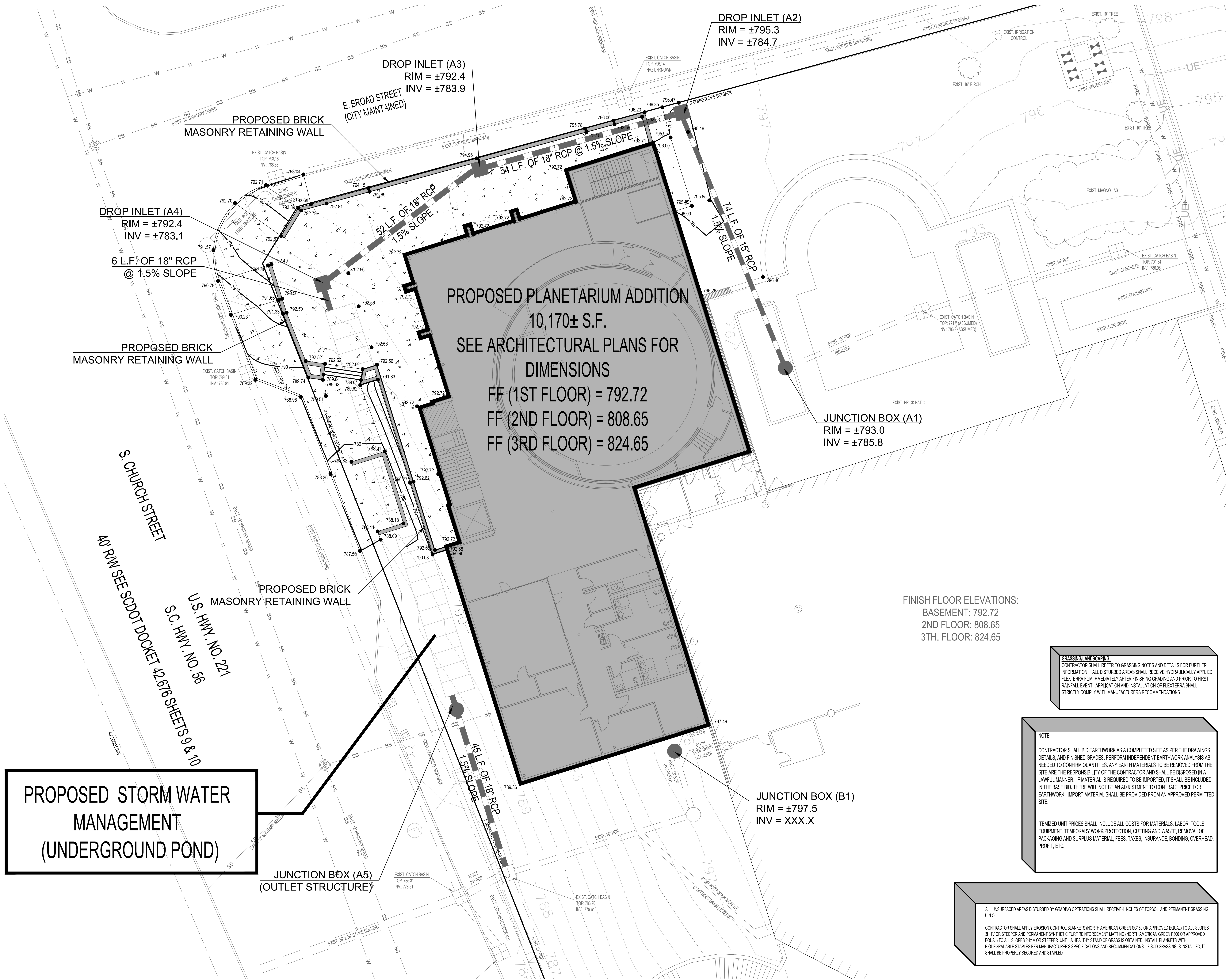
SHEET ISSUE:		DESCRIPTION	BY
NO.	DATE		
A	05.16.23	PRELIMINARY DRB SUBMITTAL	JDM

PRINCIPAL IN CHARGE: JDM
PROJECT ARCHITECT: N/A
DRAWN BY: WGW

SHEET TITLE:
**ENLARGED SITE
LAYOUT AND
UTILITY PLAN**

SHEET NO. C110
PROJ. NO. 2205.004

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PROPOSED STORM WATER
MANAGEMENT
(UNDERGROUND POND)

PROPOSED PLANETARIUM ADDITION
10,170± S.F.
SEE ARCHITECTURAL PLANS FOR
DIMENSIONS
FF (1ST FLOOR) = 792.72
FF (2ND FLOOR) = 808.65
FF (3RD FLOOR) = 824.65

FINISH FLOOR ELEVATIONS:
BASEMENT: 792.72
2ND FLOOR: 808.65
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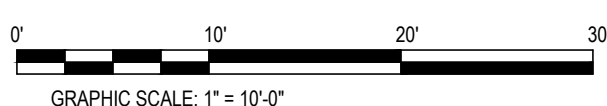
GRASSING/LANDSCAPING:
CONTRACTOR SHALL REFER TO GRASSING NOTES AND DETAILS FOR FURTHER INFORMATION. ALL DISTURBED AREAS SHALL RECEIVE HYDRAULICALLY APPLIED FLEXTERRA FGM IMMEDIATELY AFTER FINISHING GRADING AND PRIOR TO FIRST RAINFALL EVENT. APPLICATION AND INSTALLATION OF FLEXTERRA SHALL STRICTLY COMPLY WITH MANUFACTURERS RECOMMENDATIONS.

NOTE:
CONTRACTOR SHALL BID EARTHWORK AS A COMPLETED SITE AS PER THE DRAWINGS, DETAILS, AND FINISHED GRADES. PERFORM INDEPENDENT EARTHWORK ANALYSIS AS NEEDED TO CONFIRM QUANTITIES. ANY EARTH MATERIALS TO BE REMOVED FROM THE SITE ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DISPOSED IN A LAWFUL MANNER. IF MATERIAL IS REQUIRED TO BE IMPORTED, IT SHALL BE INCLUDED IN THE BASE BID. THERE WILL NOT BE AN ADJUSTMENT TO CONTRACT PRICE FOR EARTHWORK. IMPORT MATERIAL SHALL BE PROVIDED FROM AN APPROVED PERMITTED SITE.

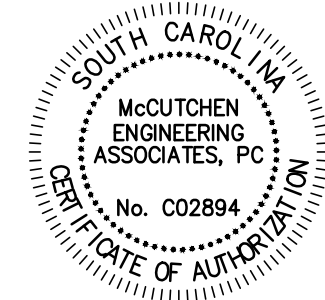
ITEMIZED UNIT PRICES SHALL INCLUDE ALL COSTS FOR MATERIALS, LABOR, TOOLS, EQUIPMENT, TEMPORARY WORK PROTECTION, CUTTING AND WASTE, REMOVAL OF PACKAGING AND SURPLUS MATERIAL, FEES, TAXES, INSURANCE, BONDING, OVERHEAD, PROFIT, ETC.

ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL AND PERMANENT GRASSING, U.N.O.

CONTRACTOR SHALL APPLY EROSION CONTROL BLANKETS (NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL) TO ALL SLOPES 3H:1V OR STEEPER AND PERMANENT SYNTHETIC TURF REINFORCEMENT MATTING (NORTH AMERICAN GREEN P300 OR APPROVED EQUAL) TO ALL SLOPES 2H:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. INSTALL BLANKETS WITH BIODEGRADABLE STAPLES PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS. IF SOD GRASSING IS INSTALLED, IT SHALL BE PROPERLY SECURED AND STAPLED.



McCutchen Engineering Associates, PC
898 W. Saint John St., Spartanburg, S.C. 29301
Phone: 864 582 0585 | Fax: 864 582 0581



SPARTANBURG DOWNTOWN LIBRARY
PLANETARIUM

151 SOUTH CHURCH STREET
SPARTANBURG, SC 29306

SHEET ISSUE:		DESCRIPTION	BY
NO.	DATE		
A	05.16.23	PRELIMINARY DRB SUBMITTAL	JDM

PRINCIPAL IN CHARGE:
PROJECT ARCHITECT:
DRAWN BY:

JDM
N/A
WGW

SHEET TITLE:

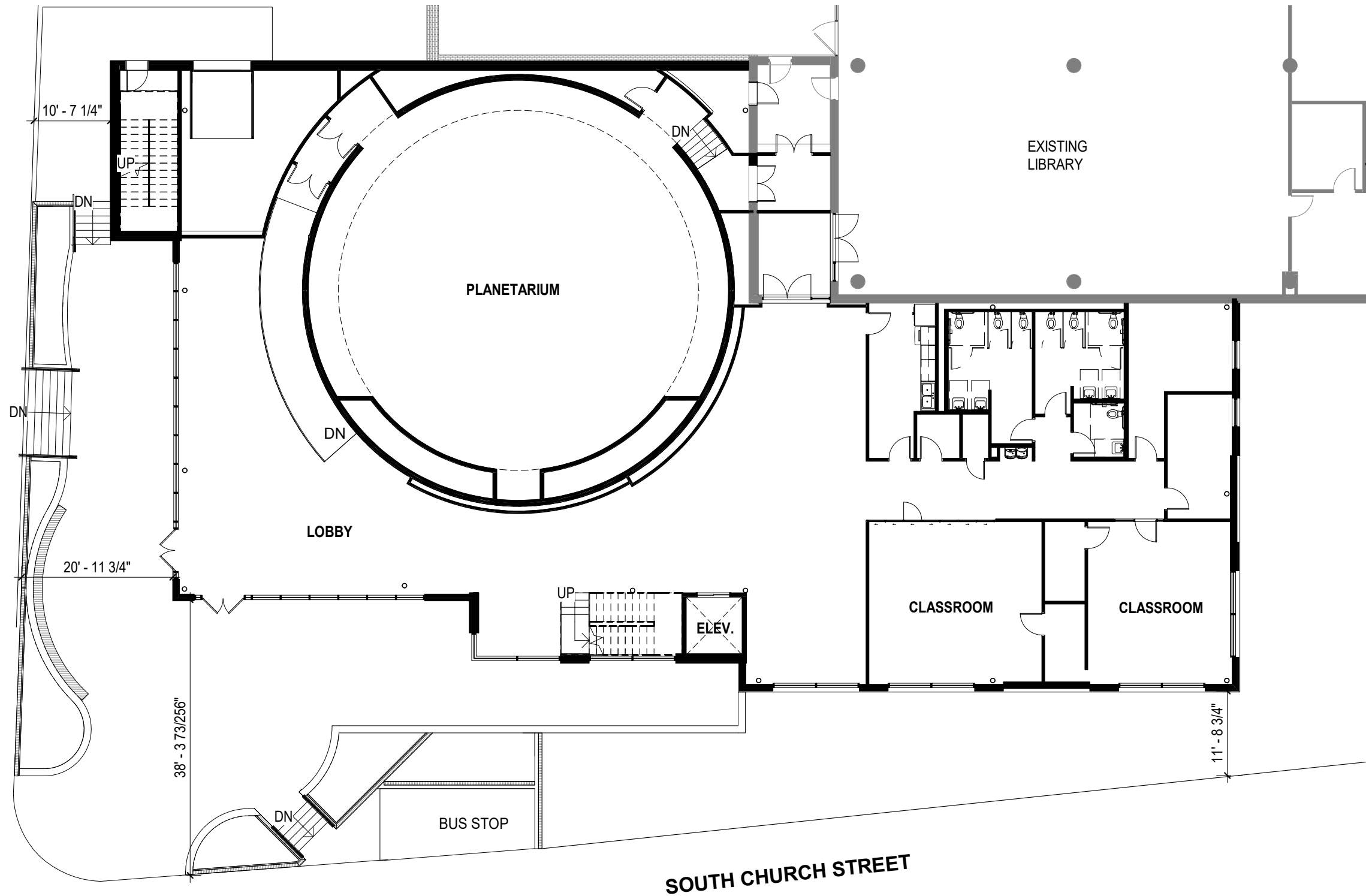
**ENLARGED
GRADING AND
DRAINAGE PLAN**

SHEET NO. PROJ. NO.
2205.004

C210

FFE: 792.72

BROAD STREET

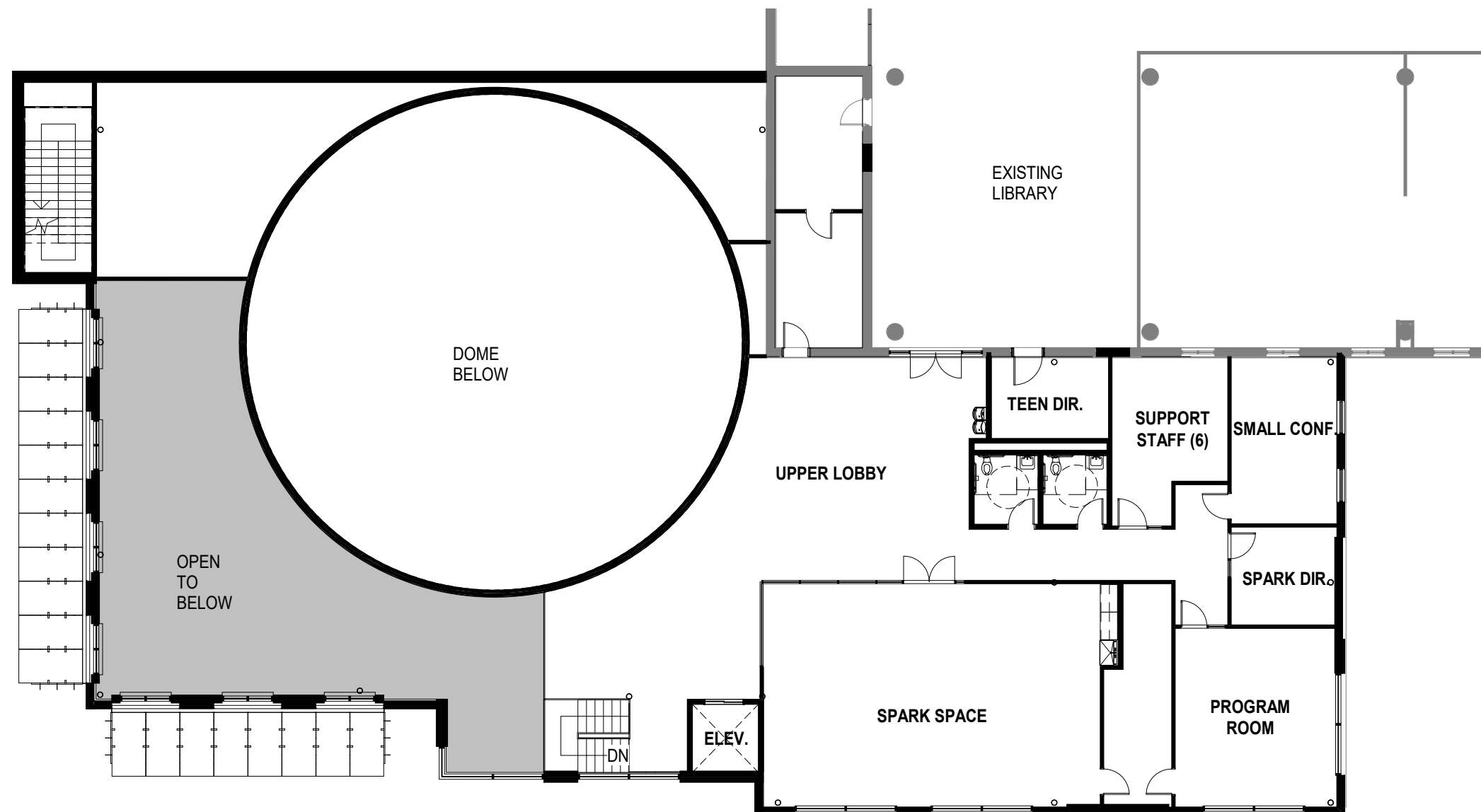


VARIANCE REQUEST

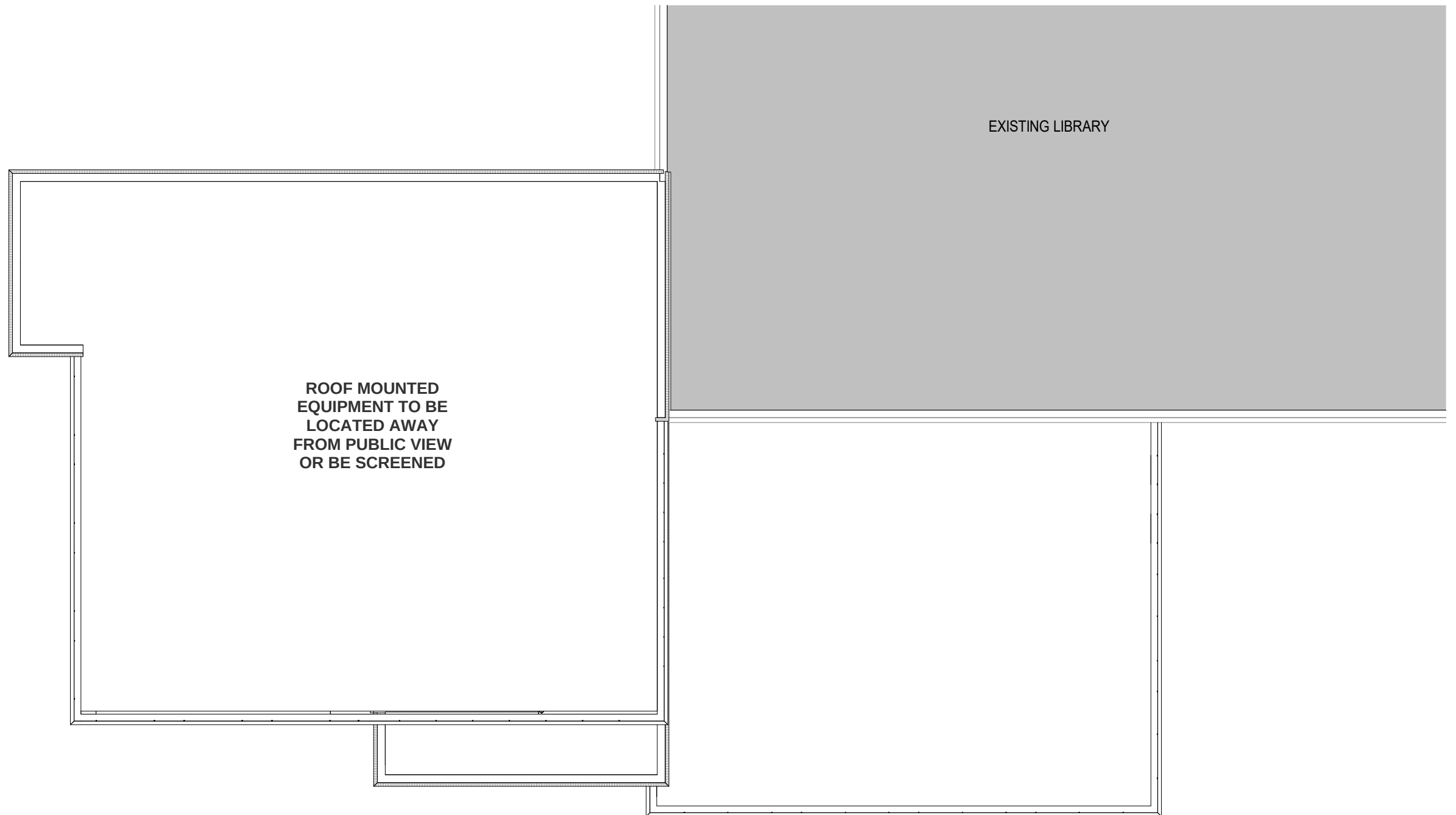
SETBACK FROM CORNER AND FRONT OF LOT

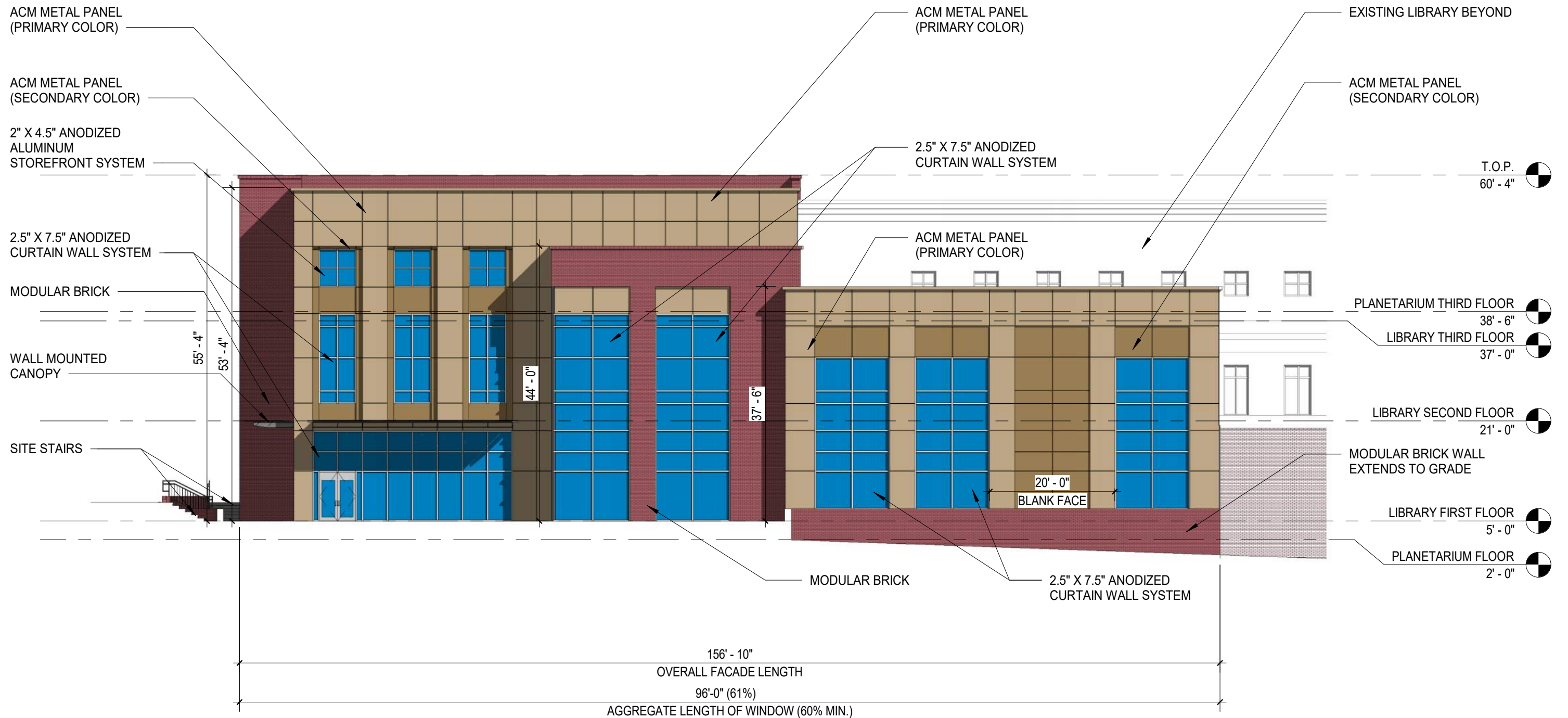
AS AN ADDITION TO A CIVIC BUILDING WE ARE ASKING FOR A VARIANCE TO EXCEED THE 12' SETBACK AND ALLOW FOR A PUBLIC PLAZA AND PLANTINGS THAT ACCENT OUR CORNER ENTRY.

FFE: 808.65









VARIANCE REQUEST

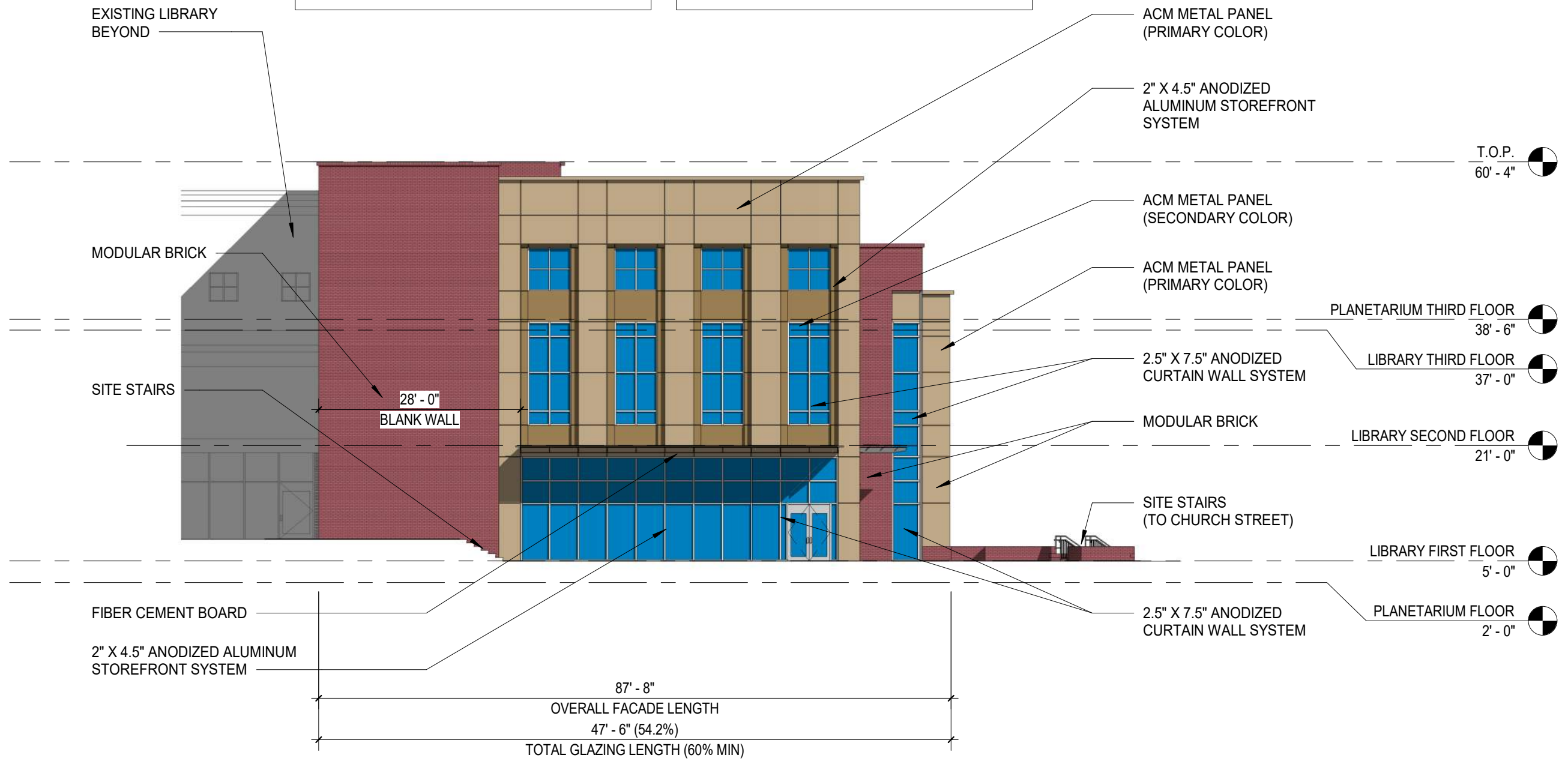
BLANK WALL IN EXCESS OF 20' - 0"

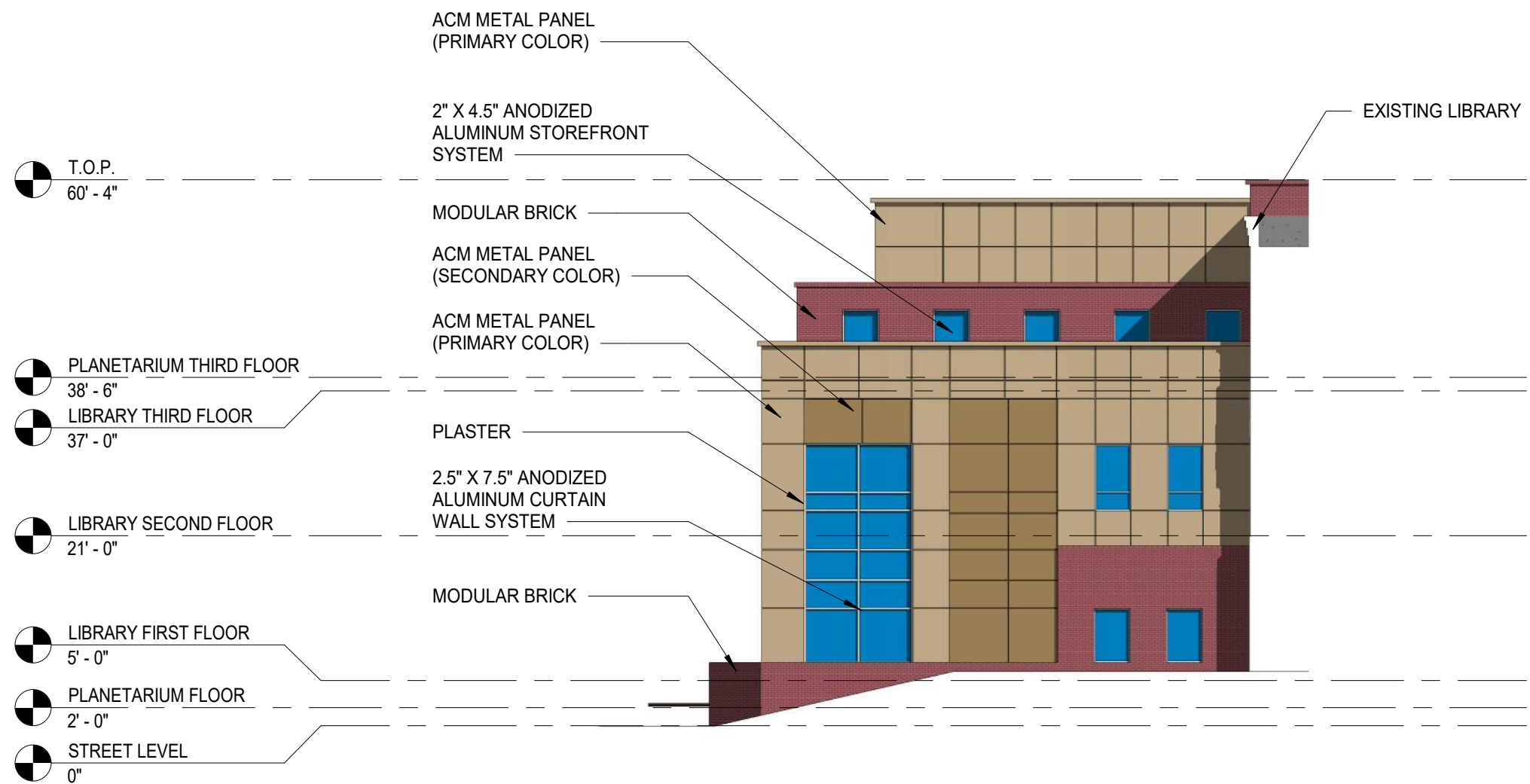
WE ARE PROVIDING A BLANK WALL THAT IS 28' - 0" WIDE FACING BROAD STREET TO ALLOW FOR LOADING ACCESS, REQUIRED EGRESS FROM THE UPPER LEVELS, AND TO CONTRAST AND ACCENT OUR CORNER ENTRY SEQUENCE.

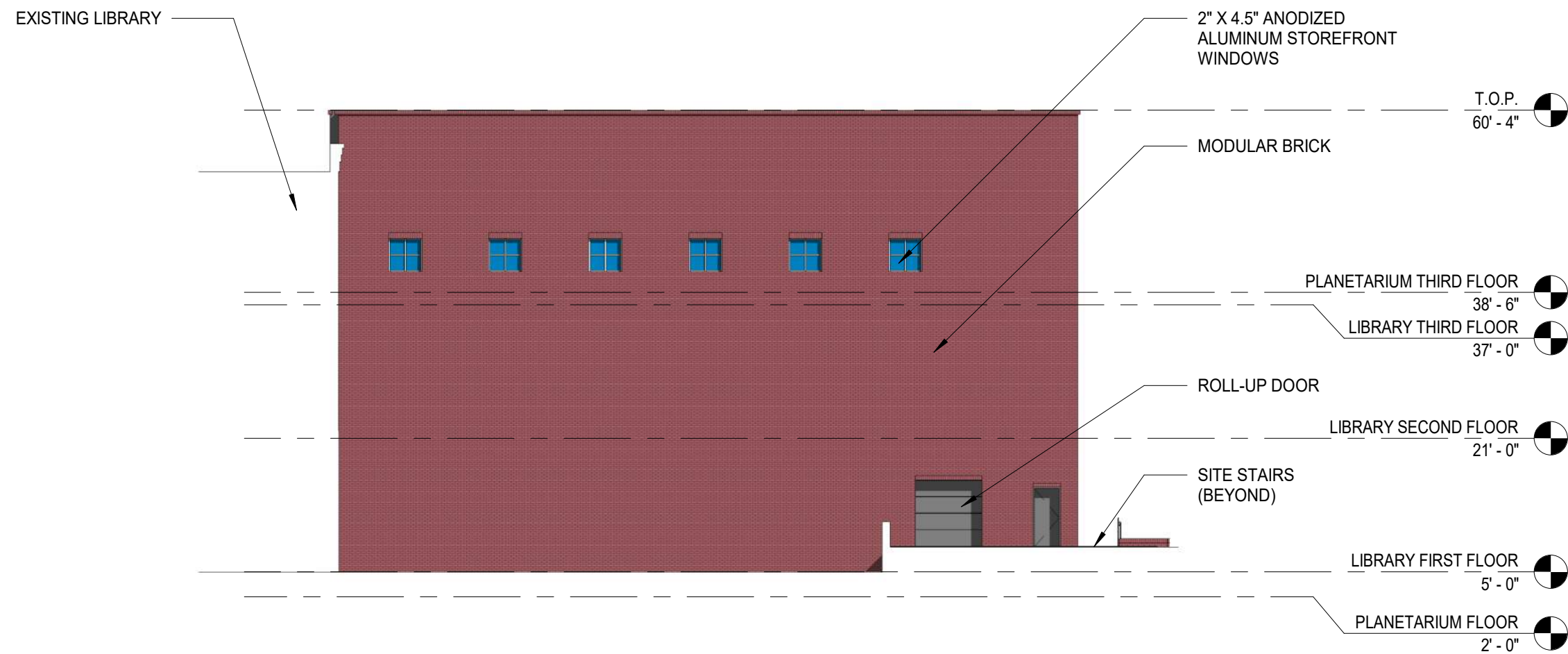
VARIANCE REQUEST

GLAZING LESS THAN 60% OF WALL

WE ARE REQUESTING A VARIANCE FOR A LOWER AMOUNT OF GLAZING ON BROAD ST. THIS ALLOWS FOR THE WINDOWS TO FIT WITH THE OVERALL DESIGN STYLE AND SCREEN LOADING AND EGRESS ELEMENTS FROM VIEW







FINAL COLOR SELECTIONS TO BE MADE PRIOR TO FINAL DRB REVIEW

ACM METAL PANEL

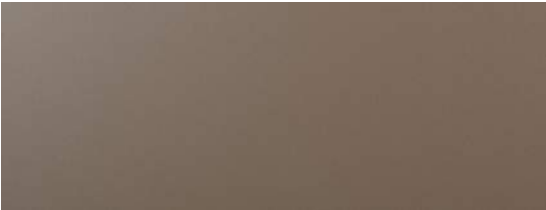
BOD: ALUCOBOND METAL PANEL FROM CLASSIC OR ANODIZED COLLECTIONS (2 TONE SCHEME)



JLR CHAMPAGNE METALLIC (PRIMARY)



ANODIC SATIN MICA



DRIFTWOOD MICA



EPERNAY CHAMPAGNE METALLIC (SECONDARY)



HARVEST GOLD MICA

MODULAR BRICK

BOD: TBD, SUBJECT TO CHANGE



GENERAL SHALE - GRAYSBURG



GENERAL SHALE - BLUE RIDGE



GENERAL SHALE - EVEREST GRAY TUDOR



GENERAL SHALE - MAGNOLIA RIDGE



PALMETTO BRICK - GREYSTONE WIRECUT 2.0



PALMETTO BRICK - ONSLOW









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THANK YOU

